



**Village of Paw Paw
Planning Commission Regular Meeting
Thursday, February 6, 2025**

AGENDA

- I. Call to Order**
- II. Roll Call**
- III. Approval of Agenda**
- IV. Approval of Meeting Minutes**
 - A. January 2, 2025 Draft Meeting Minutes**
- V. Public Comment**
- VI. New Business**
- VII. Old Business**
 - A. Special Land Use Request /Planned Unit Development - Residential Condominium Project – Old Lane Road/Davis Street – Gregg Watts**
 - B. Discussion - Outdoor Event Venue Zoning Ordinance Amendment**
- VIII. Planning Commission Member Comments**
- IX. Staff/Consultant Comments**
- X. Adjournment**



Village of Paw Paw
Planning Commission Regular Meeting
Thursday, January 2, 2025
MEETING MINUTES

I. Call to Order:

Chair Larson called the meeting to order at 7:00 pm.

II. Roll Call:

PRESENT:

KATHY LARSON, CHAIR

MICHAEL PIOCH, VICE CHAIR

NICK MARTINEZ, VILLAGE COUNCIL REPRESENTATIVE

JEFF BROWN

EMILLY HICKMOTT, SECRETARY

DAVID BOGEN

ABSENT:

NONE

ALSO PRESENT:

TRICIA ANDERSON, WILLIAMS & WORKS, VILLAGE PLANNER

BRYAN MYRKLE, VILLAGE MANAGER

III. Approval of Agenda:

Commissioner Pioch moved, with support from Commissioner Bogen, to approve the Agenda for the January 2, 2025 Planning Commission meeting.

Motion carried unanimously by voice vote.

IV. Approval of Meeting Minutes from November 7, 2024

November 7, 2024 Draft Meeting Minutes

Commissioner Martinez moved, with support from Commissioner Brown, to approve the meeting minutes from November 7, 2024, subject to the changes noted.

31 Motion carried unanimously by voice vote.

32 V. Public Comment

33 No public comments.

34 VI. New Business

35 a. PUBLIC HEARING - Tapper Chevy – 214 E. Berrien St. – Site Plan Review/Special
36 Land Use Request – Vehicle Sales and Service Accessory Use (Prep Shop) – JTNK,
37 LLC/John Tapper

38 Chair Larson recused herself.

39
40 Commissioner Pioch assumed the position of chair and opened the public hearing.
41 He then asked Ms. Anderson to provide her comments on the proposed site plan for
42 Tapper Chevy.

43
44 Ms. Anderson introduced the item and explained that her understanding of the use
45 of proposed prep shop being intended to serve the Tapper Chevy vehicle dealership
46 and will be used to detail and prepare vehicles for sale and display on the lot. She
47 added that this use is now a special land use in the B-2 zoning district, and that it is
48 viewed as an accessory to the principal use, which is vehicle sales and service, also
49 referred to as a dealership.

50
51 Ms. Anderson noted that since the December meeting was cancelled, the applicant
52 had a bit more time to revise the site plan in response to her report written for the
53 December meeting. She noted that she did not have time to do a full review of the
54 revised plan, but did perform a cursory review and found that many areas must still
55 be addressed. She indicated that the plan before the Planning Commission is what
56 they will base their decision on at tonight's meeting. She reminded the Planning
57 Commission that the Village Council approved the rezoning of the 214 E. Berrien
58 Street Parcel and the amendment to the Zoning Ordinance that names "vehicle sales
59 and service" as a use that is permitted in the B-2 district. She noted that the next
60 step is for the Planning Commission to consider the site plan for the proposed prep
61 shop at Tapper Chevy, which is what put the wheels in motion for the rezone and the
62 amendment.

63
64 Ms. Anderson explained that her report includes a table of the areas that need
65 additional attention. These areas include parking and vehicle circulation, vegetative
66 screening and whether the existing fence is on the subject property, stormwater,
67 façade materials, and the topic of whether the parcel should be combined with the
68 adjacent Express Lube and Car Wash parcels. She noted that her report
69 recommends that the Planning Commission postpone its action due to the number
70 of items that should be addressed, though if the Planning Commission is prepared to
71 make a decision, she recommended that an approval be subject to the conditions
72 indicated in her report.

Commissioner Pioch asked the applicant to present his project.

Mr. John Tapper was in attendance provided some clarification on the existing fence he said that the fence is in good condition and was planned to remain in place. He added that it is located on his property. Mr. Tapper also noted that his preference is to not combine the parcels, as it would not be a wise business decision, in the event he wanted to sell off that parcel to another entity. Ms. Anderson noted that it's not required, and that easements can be used to allow for vehicle movements on the adjacent parcel. Mr. Tapper indicated that the drive connection that was shown on the site plan has since been removed between the south overhead door and the west property line and that vehicle movements onto the adjacent parcel are not necessary. He also added 3 parking spaces on the revised plan in front of the proposed building, as well as some landscape plantings in front of the building.

Commissioner Pioch asked about the security fence and whether it would remain. Mr. Tapper noted that it would stay. He also noted that the revised site pan was unable to be reviewed by the planner and she was not updated.

The Planning Commission agreed that the conditions included in Ms. Anderson's report are appropriate, with the exception of the requirement to combine the parcels. Mr. Myrkle noted that the proposed prep shop has been "kicked around" since May of 2024 and he'd like to see the site plan get approved and the conditions handled administratively.

Ms. Anderson added that all the conditions are manageable if Mr. Myrkle is willing to follow up with them administratively. She added that the Van Buren County Drain Commission will review the stormwater management design and calculations to ensure compliance with their standards.

Commissioner Pioch closed the public hearing.

Commissioner Martinez moved, with support from Commissioner Brown, to approve the site plan and special land use for the prep shop building for Tapper Chevy, located at 214 E. Berrien Street, subject to the following conditions:

1. Prior to the issuance of any permits, the applicant shall have paid all application, permit, reimbursable escrow, and other fees related to the request.
2. The approved site plan shall comply with all applicable federal, state, and local requirements. Copies of all applicable permits shall be submitted from the appropriate approving authorities stating that the minimum requirements have been met.

3. No outdoor storage of scrap, junk vehicles, dismantled vehicles, parts, or tires, is permitted in conjunction with the vehicle sales and service use and its accessory uses.
4. The Village Fire Department shall review all plans and approve the parking lot access design for compliance with the Fire Code, prior to the issuance of any zoning or building permits.
5. The applicant shall submit additional information to satisfy requirements for stormwater management design, as required by the Van Buren County Drain Commission, prior to the issuance of a building permit.
6. The site plan shall be reviewed for compliance with any and all requirements for commercial driveway approaches onto a public street, as determined by DPS.
7. The site plan shall be revised to provide sizing and precise locations of water main and sanitary sewer located in E. Berrien St. and providing sizing proposed for private connections to the proposed building. Planned utility connections shall be reviewed and approved by DPS prior to the issuance of a building permit.
8. The site plan shall be revised to provide lighting information compliant with Section 42-405(a), prior to the issuance of a building permit.
9. The applicant shall provide a landscaping plan that complies with the requirements of Section 42-406(b).
10. The applicant shall address and provide necessary revisions to the elevation drawings to reflect acceptable façade materials and window coverage, prior to the issuance of a building permit.

Motion carried unanimously via voice vote.

b. PUBLIC HEARING – Special Land Use for PUD – Heritage Woods Residential Condominium Development – Greg Watts

Chair Larson recognized the applicant's representative, Alex Frazier, engineer with Hurley & Stewart, who was in attendance to represent the applicant and developer, Greg Watts.

Mr. Frazier introduced the project and walked the Planning Commission through the site plan and plan changes from the conceptual plan that was reviewed in November. He noted the units with frontage on Old Lane Road are now shown as duplex condominium units instead of site condominium units as previously shown. He also pointed out the addition of the proposed sidewalk on one side of the cul-de-sac, presented the water and sewer connections and configurations, the unit

155 separation distances, delineation of wetlands, proposed open space acreage, and
156 density.

157
158 Chair Larson asked Mr. Frazier about the units that abut the wetland and why
159 they're smaller. Mr. Frazier noted that the wetland delineation was conducted and
160 those units, if shown with the same floor area as the other units, may encroach into
161 the wetland boundary, which they'd like to avoid. Thus, these units are smaller.

162
163 Chair Larson asked Mr. Frazier if the Village ever received the floor areas for the
164 units. Mr. Frazier indicated that the smaller units would be 960 square feet and the
165 others would be 1500 square feet per unit. He added that he had not yet submitted
166 a floor plan to the Village.

167
168 Commissioner Brown asked if Ms. Anderson had a chance to look into whether the
169 curb cuts are permitted with the close separation distance as shown along Old Lane
170 Road. Ms. Anderson indicated that she was unable to find standards related to
171 roads in the Village, and if there are specifications for driveway separation distances.
172 She added that there is PUD standard that requires a separation of 500' between
173 access points to the development, however, in this case, individual driveway spacing
174 is questioned. Mr. Myrkle added that he has found that the DPS generally accepts
175 the standards used by the County, however, standards that apply to County roads
176 aren't always appropriate for an urban environment such as a Village.

177
178 Commissioner Martinez asked if there was a frontage shown for each unit. Mr.
179 Frazier noted the average spacing between the driveways.

180
181 Chair Larson asked about the floor plans again and Mr. Frazier noted they would be
182 2 bed and 2 bath, and the smaller ones one bed.

183
184 Commissioner Bogen asked if was possible to push the Old Lane Road units further
185 west and create a service road. Mr. Myrkle noted that it would need to comply with
186 Village standards and be accepted as public. Mr. Frazier noted that it would be
187 costly to the developer.

188
189 Chair Larson asked for comments from the public.

190
191 Martin Lewis, of Birch Lane, expressed concerns with the timing and not finding out
192 what the layout looks like until today. He noted that he was concerned with the
193 condition of Davis Street, and that it will need to be resurfaced. He added that the
194 project appears to have already been started on the parcel. He was concerned with
195 traffic and the fact that it's not planned as single-family homes. He added that he
196 believes that Old Lane Road was designed for single-family homes and an additional
197 90 cars would have an impact. He wondered also if utilities would be extended from
198 Birch street. He added that there is a wetland and was concerned with the number

199 of trees that have been removed and how the water would be absorbed. He would
200 have liked to see the plan reviewed before the bulldozing began on the parcel.

201
202 Brittany Gelder, of Davis St., expressed concerns with the development as it relates
203 to her water pressure and additional connections to the sewer line. She was
204 worried about the water table and whether the water would be displaced and if she
205 would get water in her basement. She noted that she did not want to be living on a
206 highway.

207
208 Phil Overer, resident, expressed his concerns with removal of the vegetation and
209 whether it must be replaced to screen from the adjacent properties. He was
210 concerned with whether the utilities would be connected here. He also asked how
211 the Village would be handling stormwater with the added structures near wetlands.
212 He was concerned with more water in basements on Birch Lane.

213
214 Diane Seltz, of Birch Lane, expressed her concerns with stormwater drainage. She
215 asked whether any fencing was proposed between the new development and the
216 adjacent parcels. She would like to see a fence along with a green barrier between
217 the two.

218
219 Kim Mayan, of Davis Street, was concerned with drainage, screening, the condition
220 and speed limit on Davis St.

221
222 Chair Larson closed the public hearing.

223
224 Chair Larson asked Mr. Frazier to walk the Planning Commission through the wetland
225 report. He noted that it's a report prepared by a wetland scientist. Chair Larson
226 asked about the existing drain on the property and whether an easement was
227 planned as required by the ordinance. Mr. Frazier noted that there would be an
228 easement that would be dedicated to the drain commission, as there wasn't one
229 there before.

230
231 Mr. Frazier explained how the stormwater would be handled and the calculations
232 that the Van Buren County Drain Commission requires.

233
234 Mr. Myrkle spoke to the capacity in the water system and the number of wells in
235 response to some of the public comments. He added that there is more need for
236 sewer capacity than water capacity. He does not foresee an issue with anyone's
237 water pressure. He noted that the looping of the water system that's proposed
238 would help with the quality of the water. He added that the Village is taking
239 everyone's concerns very seriously and the purpose of tonight's meeting is to hear
240 everyone's concerns and give the developer an opportunity to make revisions in
241 response.
242

Chair Larson added that the applicant is required to propose a full landscape plan. Mr. Frazier noted that there would be additional plantings around the units, but would appreciate some direction with the required 10' landscape buffer.

Chair Larson said she heard some folks cringe with the thought of irrigation and wondered if the detention basin water could be used for irrigation. Mr. Frazier noted that it would be more reliable to connect it to the water system, since the basin is not intended to retain water for long periods of time.

Member of the audience asked if there was another development that Mr. Watts had built that they could look at. He indicated that there is one on Glendora Lane.

Commissioner Pioch asked whether EGLE would be issuing a permit and if EGLE requires the delineation of the wetlands. Ms. Anderson said that the wetlands were delineated so that the development could be designed to avoid them. Mr. Frazier noted that the developer had a pre-application meeting with EGLE at the onset of the project, as he was aware that wetlands may be present. He added that they intend not to impact the wetlands, but will need to obtain a permit from EGLE if wetlands will be impacted.

Chair Larson asked Mr. Frazier to address the areas noted in Ms. Anderson's report as not being met. She noted that the ordinance requires sidewalks on all street frontages. Mr. Frazier said that Mr. Watts asks that the sidewalks not be required on both sides. He added that the target market for these units would be boomers that would not utilize sidewalks for getting to and from bus stops. Chair Larson noted that sidewalks should be provided on Old Lane Road and on Davis Street in areas that the subject parcel fronts.

The 10' wide plated landscaped buffer was discussed, and Commissioner Brown noted that the requirement is for the screening method to be "landscaping and/or screening" and believes this means that the Planning Commission can require both a fence and a planted landscaped buffer.

The topic of right of way width was discussed. Commissioner Hickmott asked whether 60' was adequate, as most streets have a 66' wide right of way width. Mr. Myrkle indicated that DPS director felt that the 60' right of way width for the cul-de-sac street was adequate, particularly because the depth of the front yards is reduced. Mr. Frazier noted that the Davis Street right of way is 60' in width, and that it was used as a basis for the width of the cul-de-sac street.

Lighting was discussed and Mr. Frazier indicated that streetlights were not proposed, however, lights are planned for the garage of each unit. Ms. Anderson felt that a statement on the plan that indicates any lighting will comply with the Village Zoning Ordinance would be sufficient.

287 Chair Larson asked Ms. Anderson to go through the PUD site design standards of
288 approval and provide her comments. Ms. Anderson noted that the applicant is
289 asking for several departures from the minimum dimensional requirements and that
290 the Planning Commission will need to determine if they are acceptable. She also
291 mentioned the 9' setback from the wetland boundary, and noted that the applicant
292 must address whether an encroachment is anticipated. The landscape buffer was
293 mentioned again, and Ms. Anderson noted that the plan did not show a delineation
294 of the required buffer. She explained that, because the PUD is proposed as a
295 condominium, that compliance with the Condo Act is required. This includes
296 drafting a master deed which outlines ownership responsibilities, among other
297 things. She questioned whether the Van Buren County Drain Commission had
298 requirements for a master deed to note minimum basement openings, and whether
299 they might require language that addresses the specific responsibility to maintain
300 stormwater management facilities. She added that the master deed would also
301 need to be reviewed by the Village Attorney before being recorded.

302
303 Chair Larson asked for additional comments from the Planning Commission. The
304 topic traffic was discussed. Commissioner Pioch expressed his concerns with the
305 number of items that still need to be addressed.

306
307 Additional comments were taken from the public. A question was raised about
308 whether inspections would be conducted regularly during construction to ensure
309 things are progressing the way they're supposed to.

310
311 Chair Larson indicated that the issue with the sidewalk remains. Commissioner
312 Hickmott indicated she'd be comfortable with sidewalks on only one side of the
313 street. Chair Larson agreed that it would be a good compromise. She hopes to see a
314 revised plan in February that addresses everyone's concerns.

315
316 Ms. Anderson indicated that she would look into the Ordinance further to see if the
317 Planning Commission has the discretion to require a fence under the PUD provisions
318 or a specific type of tree.

319
320 Chair Larson recalled Mr. Myrkle's statement from a previous meeting where he
321 noted that fencing combined with dense vegetation is not always a good solution,
322 since it provides good places for hiding.

323
324 Ms. Anderson informed the Planning Commission that it does have the authority to
325 impose reasonable conditions, as the PUD is considered a special land use in the
326 Village of Paw Paw. Mr. Myrkle encouraged the members of the public to attend the
327 meeting in future. Commissioner Martinez suggested that this item should perhaps
328 be first on next month's agenda. Chair Larson thanked everyone for their
329 attendance.

Commissioner Pioch moved, with support from Commissioner Martinez, to postpone their action on the item, and asked that the applicant address the concerns expressed by the Planner, the public, and the Planning Commission.

Motion carried unanimously by voice vote.

VII. New Business

a. DISCUSSION - Former Copper Grill Restaurant Site Redevelopment – 854 S. Kalamazoo – Nick Loeks

Chair Larson recognized Nick Loeks, of Bosch Architecture, who was in attendance to present the preliminary plan for the redevelopment of the former Copper Grill restaurant site on the Corner of Kalamazoo Street and Ampey Road. Mr. Loeks informed the Planning Commission that the former restaurant building has been demolished and the plan is to construct a strip mall with five tenants, with one being a restaurant. He noted that the plan is to not touch any of the access points along Kalamazoo or Ampey, since they'd like to hold onto those, though he is unsure what MDOT will require. He spoke to the round-about plan for the intersection nearby and how it may impact the subject site.

Commissioner Bogen asked about stormwater management for the site, and where water will go. Mr. Loeks noted that the site currently sheet flows primarily out to Ampey Road, however, there are a few sections of pipe that he is unsure of where they end up.

Mr. Loeks noted that he would like to be back in front of the Planning Commission next month, and thanked them for their input.

VIII. Planning Commission Comments

Chair Larson asked about the Zoning Ordinance project and who it was awarded to if McKenna was awarded the Master Plan. Mr. Myrkle noted that Williams & Works would do the Zoning Ordinance update.

IX. Staff/Consultant Comments

Mr. Myrkle mentioned the Planning Commission's annual report. Chair Larson noted that she traditionally prepares the report and presents it to the Village Council.

Mr. Myrkle provided an update on Warner Vineyards. He indicated that he hopes that the ordinance amendment can be finalized while Mr. Warner works to prepare his plan. Chair Larson stated that his 2025 list of events are out on his website.

Mr. Myrkle informed the Planning Commission of some drainage improvements that are proposed at the Wendy's on Kalamazoo Street, and that they are not necessary for the Planning Commission to review.

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X. **Adjournment** 10:30 p.m.

Tricia Anderson, AICP – Williams & Works
Recording Secretary

DRAFT

williams&works

engineers | surveyors | planners

MEMORANDUM

To: Village of Paw Paw Planning Commission
Date: January 30, 2025
From: Tricia Anderson, AICP
RE: **Special Land Use Request for PUD – Heritage Woods Condominium Development (Tabled 1/2/25)**

Update. At the January 2nd 2025 meeting, the Planning Commission tabled its action on the proposed Special Land Use Request and PUD for the Heritage Woods Condo project due to a number of outstanding issues that needed to be addressed by the applicant. A revised plan set has been submitted and our updates to the items noted as needing attention are included in this memorandum in [blue](#).

Background. At the November 7, 2024 meeting, the Planning Commission was presented with the conceptual design for a residential condominium Planned Unit Development (PUD) for the parcels located at the intersection of Davis Street and Old Lane Road as part of the pre-application step required for all proposed PUDs. Since the Planning Commission collectively accepted the conceptual plan, the applicant has formally submitted an application, and will appear before the Planning Commission to request special land use approval of the PUD for the 38-unit condominium development at the upcoming January 2, 2024 meeting.



Development Site Information. As a refresher, the development site shown in Figure 1 consists of four unplatted parcels zoned R-2, Single Family Residential. The parcels are generally located in the northeast end of the Village. The total land area is 11.96 acres. The

proposed development area is heavily wooded and the southern portion contains wetlands. The property is accessible from Old Lane Road on the eastern boundary and Davis Street on the northern boundary, both exhibiting a right of way width of approximately 33 feet. **It is noted that the revised plan indicates the right of way on Davis Street and Old Lane Road as being 66' in width, however, this does not appear to be accurate.**

Proposed Plan Elements. The conceptual layout for the proposed PUD consisted of 28 duplex housing units within a traditional condominium having access from Davis Street, and seven site condominium lots having frontage on Old Lane Road. At the November 7 meeting, the applicant was still in the process of determining whether the land with access from Old Lane Road would consist of additional duplex units, or a separate site condo. The proposed PUD plan provides for five (5) additional condo buildings along Old Lane Road, bringing the total unit count to 38 dwelling units. The PUD plan indicates nearly 84% of the total development site acreage as being dedicated to open space. The plan provides for stormwater management facilities, municipal water, and sanitary sewer. Municipal water is planned to be extended from an existing water main that runs along Birch Lane and sanitary sewer that runs along Davis Street. **Sidewalks are proposed along the development frontage of Davis Street, Old Lane Road, and along the north/western side of Heritage Woods Court.**

SLU and PUD Review and Approval Procedures. As noted above, and shown in Table 1, the Planning Commission determined that the conceptual plan met the minimum PUD eligibility requirements and expressed its acceptance of the concept plan. Procedurally, the next step requires the applicant to submit a site plan in accordance with Section 42-402.2, Submission Requirements. The application for PUD will follow the requirements outlined in Section 42-366(b), Special Use Permit Procedures which refers to the procedural and plan element requirements within Section 425-402, Site Plan Review. Additionally, the condo project is required to adhere to the requirements outlined in the Condominium Act (Act 59 of 1978, as amended). The Planning Commission is typically the final approving authority for special land uses, however, Section 42-403(g) and the Michigan Zoning Enabling Act (Act 110 of 2006, as amended) requires a public hearing of the Village Council for final approval of a PUD. If the plan appears to meet or will meet the minimum requirements, the Planning Commission may offer a recommendation to Village Council for the approval with or without conditions or denial of the request. If the Planning Commission determines that additional information is needed in order to proceed with a decision, it may choose to postpone any action until such information is provided.

The formal submittal contains a few areas that were anticipated to change slightly once the plan was drawn up more precisely with actual grades, dimensions, and delineation of wetlands and associated land calculations. Additionally, the formal submittal shows units 29-38 along Old Lane Road as duplex condo units, whereas the concept plan showed this area as single-family home sites. The additional condo units reduce the complexity of PUD plan. We reviewed the revised site development information a second time against the eligibility requirements, and

have determined that the proposed condo development still meets the criteria to be eligible for a PUD, as noted in Table 1.

Table 1 – PUD Eligibility Requirements – Comparison with Concept Plan vs. Formal Submittal

	Eligibility Requirements	Concept Plan	Formal Submittal
Acreage	2-acre minimum	11.96 acres	11.95 acres
Utilities	Shall connect to water and sanitary sewer	Proposed	Proposed
Permitted housing types	Single-family detached homes (excluding mobile homes) Two-family homes Single-family attached homes Multiple-family structure (apartments)	Two-family homes Single family homes	Two-family homes only
Density	Net Density = Total site acreage – building areas and parking areas (driveways). Not to exceed a net density of 1.5 times the max number of units allowed per acre under single-family lot sizes shown in the schedule of regulations 43,560 square feet ÷ 8,700 square feet = 5 units/acre 5 units/acre × 1.5 (multiplier) = 7.5 units/acre MAX	35 units proposed at 2.9 units per acre	38 units proposed at 3.38 units per acre (with multiplier of 3.5 due to dedicating more than 45% of site to open space)
Open Space	Required: 25% of total land area dedicated to PUD (not including building and parking areas) Required Open Space: 11.95 acres × .25 = 2.98 acres	Not provided	9.45 acres

Site Plan Review Requirements and Standards. Section 42-402 outlines the required site plan elements. We have determined that the site plan is complete enough for the Planning Commission’s consideration of the site plan associated with the special land use permit for a PUD. Table 2 provides the required site plan elements and our review comments relevant to items that will require additional attention.

Table 2 – Site Plan Review Requirements

Section 42-402 Site Plan Review	Plan dated 1/2/25	Revised Submittal Plan dated 1/22/25
a. A scale of not less than one inch equals 40 feet, if the subject property is less than three acres, and one inch equals 100 feet if it is three acres or more.	Met	Met

b. Date, north point and scale.	Met	Met
c. The dimensions of all lot and property lines, showing the relationship of the subject property to abutting properties.	Met	Met
d. The siting of all structures, including outside mechanical equipment, on the subject property and abutting properties.	Met	Met. It should be noted that the units 1-12 may not be permitted to have a deck since the rear yard setback is maxed out.
e. The location of each proposed structure in the development area, the use to be contained therein, the number of stories, gross building areas, distances between structures and lot lines, setback lines, and approximate location of vehicular entrances and loading points.	Gross building areas are provided, however, the floor areas within each unit are not. The plan should also provide building dimensions.	Met. The revised plan provides floor areas and dimensions in an additional exhibit.
f. The location of all existing and proposed drives and parking areas with the number of parking and/or loading spaces provided.	Two parking spaces are required for each dwelling unit per Section 42-404.d. While parking calculations have not been provided, it would appear that each condo unit, with the exception of units 17 and 18 are provided with a garage and a 20' x 16' driveway (outside of the right of way). The minimum parking space dimension is 9' x 20'. The driveway may allow for a minimum of one car, and the garage appears to be a single stall. This would meet the minimum parking requirements for one and two-family dwellings, however, the applicant should provide additional information on the sizing of the garages and the parking calculations in the general notes.	Met. Parking calculations have been provided. 2 spaces per dwelling unit is required. The plan provides for 3 spaces for the larger units and 2 spaces for the smaller units, with a total of 112 spaces. It should be noted that the parking calculations indicate 76 parking spaces. The applicant should clarify the discrepancy. The floor area exhibit also provides dimensions for the garages and whether they are designed for one car or two. The larger units contain a two-stall garage with a 16' wide opening, which is

		standard. The smaller units contain a single car garage.
g. All pedestrian walks, malls and open areas.	Partially met. The plan proposes sidewalks on the north side of the cul-de-sac street, however, units with access on Old Lane Road do not show sidewalks as being provided. Section 32-52, Responsibility for Installation of New Sidewalk, subsection (c) indicates that all new single- and two-family residential developments shall include sidewalk installation along all street frontages.	Met. The revised plan provides for sidewalks along the development frontage of Davis Street and Old Lane Road. The Planning Commission may recall that sidewalks along one side of Heritage Woods Court would be a compromise it finds acceptable.
h. location, height, and material of all walls, fences and screen plantings, including a general plan for the landscaping and/or screening of the development and the method by which the landscaping and/or screening is to be accomplished and maintained.	A landscaping plan was not included with the submittal. Section 42-403 requires a 10' wide planted landscaped buffer along all boundaries of the property to be developed.	Met. The revised plan set includes a delineated 10' wide planted buffer strip behind units 1-12. The buffer strip includes 35 5' tall Colorado Spruce trees planted 20' on center at 7' off the property line. A fence does not appear to be proposed; however, a privacy fence detail is provided on Sheet C-8. This should be clarified by the applicant.
i. The location and right-of-way widths of all abutting streets.	Right-of-way widths have not been provided for Old Lane Road or Davis Street. Additionally, The right-of-way width for the proposed street ending in a cul-de-sac off Davis Street is shown at 60' in width. All other development types within the Village require a minimum of 66' for public streets. The applicant has not indicated that the street is proposed as private.	Partially met. The Planning Commission was informed at the Jan. 2 meeting that the DPS director was accepting of the 60' proposed right of way for Heritage Woods Court. The right of way widths for Davis Street and Old Lane Road were not previously provided, but are both shown as 66' in the revised plan set,

		however, this does not appear to be accurate. The applicant should provide accurate right of way widths for these roads as a recommended condition of approval.
j. Types of surfacing, such as paving, turfing or gravel to be used at the various locations.	Met.	Met.
k. A stormwater disposal plan, including a grading plan, with topographic elevations of the site and surrounding area, showing the proposed method of stormwater disposal, and providing design criteria and calculations in accordance with criteria identified in subsection 42-402(3)q.	The site plan includes information on proposed stormwater infrastructure, including locations, pipe sizing, direction of flow, structures, and pipe slopes. Stormwater calculations, however, have not been provided. The Planning Commission may wish to defer to the Van Buren County Drain Commission.	May be met. Again, the Van Buren County Drain Commission will review the stormwater management plan and calculations.
l. Size and location of proposed sewer and water lines and connections.	Met.	Met.
m. The number of proposed units (for multiple-family developments).	Met.	Met.
n. Significant environmental features such as wetlands, shoreline, streams, woodlots, existing trees and vegetation.	Met. The applicant has provided a wetland delineation report and indicates the limits on the site plan.	Met. No change.
o. Information as may be required by the planning commission and village council to assist in the consideration of the proposed development.	TBD.	The Planning Commission has not asked for additional information.
p. The location, type and intensity of proposed exterior lighting.	Lighting information has not been submitted. It should be clarified whether streetlights are proposed. Section 42-405(a) requires all lighting to be installed in a manner which will	Met. The applicant does not propose street lights, and the Village does not appear to require them for subdivisions

	not cast direct illumination on adjacent properties, or cause a nuisance to adjacent or nearby properties.	or any other type of development. The applicant has indicated that each unit will have lighting on the exterior of the building.
q. Storm drainage controls must be provided to maintain groundwater discharge, prevent flooding and minimize the potential for pollutants to enter waterways.	Stormwater calculations have not been provided. The Planning Commission may wish to defer to the Van Buren County Drain Commission on meeting this requirement.	May be Met. The applicant has provided stormwater calculations in the revised plan set. The design is subject to the requirements of the Van Buren County Drain Commission's standards which the Village has adopted by resolution.

Site Plan Review Standards. Section 42-402(4) lists the criteria to be met for site plan approval. This section also gives the Planning Commission authority to determine if one or more of the criteria are inapplicable. The criteria are below, along with our remarks.

- a. *The vehicular transportation system shall provide for circulation throughout the site and for efficient ingress and egress to all parts of the site by fire and safety equipment.*

Remarks: The vehicle circulation and ingress and egress to the development is via a proposed public street. The proposed street indicates a right-of-way width of 60', which is substandard compared to the 66' requirement for all other residential subdivisions (Section 16-74(c)).

The Planning Commission may wish to defer to the Department of Public Services and the Fire Department to determine if adequate emergency access is provided and if a 60' public street right-of-way is acceptable. It should be noted that the layout of the development may be impacted by increasing the width of the road right of way. This could also have an impact on whether units encroach into regulated wetlands. **The Planning Commission may find that this standard does not appear to be met.**



This standard appears to be met, subject to approval by the fire department. The DPS director has communicated to the Village Manager that the 60' right of way for Heritage Woods Court is acceptable.

- b. *Pedestrian walkways shall be provided as deemed necessary by the planning commission for separating pedestrian and vehicular traffic.*

Remarks: At the pre-application conference, the Planning Commission expressed a desire to see pedestrian walkways serving this development for the benefit of future

residents. The plan proposes sidewalks on one side of the cul-de-sac street, and along the cul-de-sac. The plan does not depict any sidewalks along Old Lane Road in front of the two-unit homes. As noted in Table 2, Section 32-52, Responsibility for Installation of New Sidewalk, subsection (c) indicates that all new single- and two-family residential developments shall include sidewalk installation along all street frontages.

The Planning Commission may find that this standard *may be met* with revisions to the site plan depicting sidewalks along the Old Lane Road frontage.



This standard appears to be met with the addition of sidewalks along Old Lane Road and Davis Street.

- c. *Recreation and open space areas shall be provided in all multiple-family residential developments.*

Remarks: This standard is not applicable.

- d. *The site plan shall comply with the district requirements for minimum floor space, height of building, lot size, yard space, density and all other requirements as set forth in this chapter, unless otherwise provided.*

Remarks: The land and density calculations provided would indicate that these requirements have been met. The PUD allows for flexibility of some of these elements. The minimum floor space for units, however, have not been provided. Section 42-401, Schedule of District Regulations, provides that the minimum floor area per dwelling unit in the R-2 zoning district is 800 square feet, and shall not include areas of basements, breezeways, unenclosed porches, terraces, attached garages, or attached sheds. The applicant has not provided floor plans or dimensions of the buildings or units. This information should be provided in order to determine whether this is met.

The Planning Commission may find that this standard *may be met* upon the applicant submitting additional information to demonstrate compliance.



This standard appears to be met. The applicant has submitted floor plans depicting floor areas and dimensions.

- e. *The requirements for fencing, walks, and other protective barriers shall be complied with as provided in this [chapter] and as deemed appropriate by the planning commission.*

Remarks: The site plan does not depict any areas proposed to be fenced. Sidewalks are addressed in Standard b above.



This standard appears to be met, however, as noted in Table 2, the plan contains a fence detail that should be removed if a privacy fence is not proposed.

- f. *The site plan shall provide for adequate storage and loading space for the use therein.*

Remarks: This standard is not applicable.

- g. *Security measures shall be provided as deemed necessary by the police chief for resident protection in all multiple-family residential developments.*

Remarks: This standard is not applicable.

- h. *Fire protection measures shall be provided as deemed necessary by the fire chief in conformance with all applicable laws of the state for the protection of residents and/or occupants of the structures.*

Remarks: The Planning Commission may defer to the Fire Department to determine compliance with this standard. **No change.**

- i. *The site plan shall comply with all requirements of the applicable zoning district, unless otherwise provided.*

Remarks: As noted in Standard d above, compliance with the minimum floor areas for the R-2 district could not be determined, as floor area information has not been provided.

The Planning Commission may find that this standard *may be met* upon the applicant submitting additional information to demonstrate compliance.



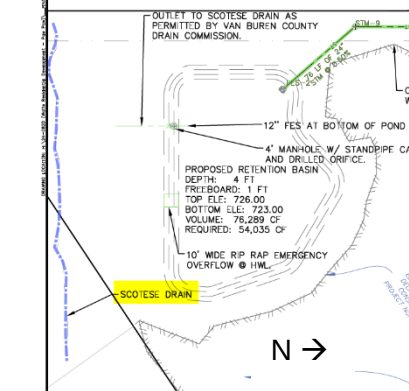
This standard appears to be met as noted above since the applicant provided the floor area information.

PUD Requirements and Standards. Section 42-403(e)(4) provides the minimum site design standards. This section also provides authority to the Planning Commission in allowing modifications to these requirements. Table 3 provides each of the site design standards for Planned Unit Developments, along with our remarks.

TABLE 3 – PUD SITE DESIGN STANDARDS

Section 42-403(e)(4), Site Design Standards for PUD	Remarks 1/2/25 Plan	Remarks - Revised Plan Set 1/22/25
1. <i>Ownership:</i> The tract of land may be owned, leased or controlled by a single person, partnership, corporation, cooperative association, or association of individual owners (condominium). An application may be filed by the owner, jointly by the owners of all property to be included, or by a person, persons, corporation, or corporation with an option to buy said property. A plan once approved, shall be binding.	This standard appears to be met. All subject parcels are owned by Greg Watts, who is the project developer.	Met.

2. <i>Utilities:</i> A clustered residential development and a planned unit development shall have on-site community water and sewer provided by the developer, and must be approved by all legal state, county and local agencies (health, conservation, etc.) who are in authority and have jurisdiction. All utilities shall be placed underground.	This standard appears to be met. The proposed condo development plan depicts connections to municipal utilities (water, sewer, and storm).	Met.
3. <i>Permitted housing types</i>	This standard appears to be met. The proposed housing type is two-family buildings, which is permitted.	Met.
4. <i>Site Design Standards:</i>		
a. <i>Minimum yard requirements and building setbacks from all exterior property lines shall be 30 feet.</i>	The applicant requests a departure from this standard. A 26.5' rear yard setback is proposed. The Planning Commission must determine if this departure is acceptable.	No change – the Planning Commission must determine if the departure is acceptable.
b. <i>Maximum building height three stories or 30 feet (excludes antennas, steeples, spires, etc.).</i>	This standard appears to be met. The proposed housing form is a slab on grade single story two-unit building with a height of 18'.	Met.
c. <i>Minimum spacing between detached buildings shall not be less than the height of the higher building as measured from the lowest first floor elevation.</i>	This standard appears to be met. The separation distance between units appears to be a minimum of 20'.	Met.
d. <i>All sensitive natural features such as streams, wetlands, lands within the 100-year floodplains, land on slopes of 12 percent or greater, and stream or river banks, (which by virtue of soil and slope may create highly erodible hazards to the public health and safety) shall remain unencumbered by residential buildings and structures.</i>	It is unknown if this standard is met. The applicant proposes a 9' setback from Unit 16 to the line of the regulated wetland, and a 13' setback from unit 17 to the line of the regulated wetland. The applicant should seek a determination from EGLE as to whether the construction of those units will encroach into the regulated wetlands. It may be a challenge to avoid encroaching into wetlands for grading and other equipment maneuvering during the construction of these units. If the encroachment is	The Planning Commission should determine if this standard is met. At the January 2 meeting, the applicant explained that slab on grade homes do not require basement excavations, and that the 9' and 13' setbacks from the wetland boundary are sufficient. The applicant also noted the plan to clearly mark wetland boundaries to keep

	anticipated, the applicant will need to work with EGLE to obtain a wetland permit.	construction equipment out.
e. <i>Ingress and egress opening from the development onto a public and private road shall be limited to one per 500 feet.</i>	This standard appears to be met. There is only one ingress/egress opening to the development from a public street.	Met.
f. <i>Planted and maintained landscaped buffer areas of ten feet in width are required along all exterior boundaries of the property to be developed.</i>	This standard does not appear to be met. The applicant has not provided a landscape plan, nor is there a delineation of the buffer areas on the site plan. The applicant should provide this information in a revision to the site plan.	This standard appears to be met with a 10' wide buffer strip shown on the plan, along with a row of 35 Colorado Spruce trees within the buffer along the rear yards of units 1-12. The Planning Commission should determine whether additional landscaped buffer areas should be added to the plan along boundaries that do not abut developed areas.
g. <i>Drainageways and streams shall be protected by a public easement measured 25 feet from the centerline of such triangulates or streams.</i>	This standard does not appear to be met. A county drain is located on the subject property to the south of the proposed retention basin. An easement  does not appear to be outlined along this drain.	Met. This has been addressed in the revised site plan.
h. <i>Off-street parking is required at the rate of two parking spaces per dwelling unit.</i>	This standard appears to be met with a single stall garage and at least 20' of driveway length.	Met. The revised plan provides the parking calculations and floor areas and dimensions of garages.

		The parking calculation indicates 76 parking spaces, however, with 3 spaces per larger unit (two in the garage and one in the driveway), and 2 spaces for the smaller units (1 in the garage, one in the driveway), the total parking count is 108. The applicant should clarify this.
i. <i>Facility site standards.</i> The site standards for all individual uses and facilities as provided in this chapter, must be observed unless waived by the planning commission for any (or all) of the specific uses and facilities.	This standard does not appear to be applicable.	Not applicable.
j. <i>Common property which is privately owned.</i> Common property is a parcel or parcels of land, a privately owned road, or roads, together with the improvements thereon, the use and enjoyment of which are shared by the owners and occupants of the individual building sites. When common property exists, the ownership of such common property shall be private. When privately owned, arrangements must be made for the improvement, operation, and maintenance of such common property and facilities, including private streets, drives, service parking and recreational areas. This shall not be waived.	This standard may be met. The condominium master deed is required to address private ownership and responsibility, along with areas, infrastructure, and structures to be held in common ownership. The Van Buren County Drain Commission and The Village of Paw Paw Department of Public Services may request language to be incorporated into the master deed that reflects requirements for maintenance related to public improvements, such as roads, sidewalks, utilities, and stormwater facilities.	May be met. The applicant acknowledges these standards. This is addressed as a condition of approval.
k. <i>Public easement on common property which is privately owned.</i> When common property exists in private ownership, the owners shall grant easements, over, under and through such property to the village as may be required for public purposes.	This standard is nearly identical to standard j above and should be addressed in the same manner.	

Authority of Discretion. At the January 2 meeting, the Planning Commission was made aware of the areas where the applicant requests departures from the requirements of the ordinance. The question was raised regarding areas where the Planning Commission and Village Council have the authority to use discretion in determining if departures are acceptable as it relates to PUD and special land uses. The following is a summary of the Zoning Ordinance sections that grant discretionary authority to the Planning Commission and/or Village Council:

1. Section 42-403(a) Intent and Purpose of Planned Developments:

Planned developments are provided, herein by special use permit in order to allow for some degree of flexibility and innovation in the design of developing areas, as well as to allow for an efficient and aesthetic use of land. Based upon the standards and criteria contained in this article, the planning commission shall review and recommend with conditions, a modification in bulk requirements in order to allow certain forms of development containing both privately owned sites and common property, and which are planned collectively as a single unit.

Interpretation: Bulk requirements = the placement of buildings and other significant improvements, i.e. setbacks, heights, separation distances, buffer widths, etc.

The Planning Commission may recommend to the Village Council a modification of any of these things if the proposed modification would result in a more efficient use of land and higher aesthetic.

2. Section 42-403(c)(2)b: *Full compliance with the provisions of this chapter and the tables/schedules contained herein shall be met, unless waived by the village council.*

Interpretation: The Village Council appears to have the authority to waive any of the requirements as it pertains to density, density bonuses, and open space requirements.

3. Section 42-403(c)(4), Site Design Standards: *Unless modified by the planning commission in writing at the time of application approval, compliance with the following design standards is required to be shown on the site plan:*

Interpretation: Design standards listed in this section can be modified by the Planning Commission. These standards include:

- 30' minimum building setbacks from all exterior property lines (PUD boundary).
- Minimum building spacing
- Unencumbered sensitive natural features
- 500' min spacing between access points
- Width of "planted and maintained landscaped buffer areas" along exterior boundaries of PUD
- Off-street parking minimums
- Protection of drainageways with a 25' easement

This discretionary modification of the design standards may also be interpreted as the Planning Commission's authority to require a higher standard for these design standards. For example, if the Planning Commission felt that both a fence AND a tree planted buffer was necessary to meet the standards of the ordinance, it has the authority to require both.

Condominium Act Requirements. The Condominium Act (Condo Act) (Act 59 of 1975, as amended) is the legal statute that provides the framework for creating and managing condominiums and addressing the ownership of individual units and shared common areas. It also governs the responsibilities of unit owners, building and use restrictions, the formation and operation of condominium associations, and the management of finances, and maintenance of common elements. The Condo Act requires the master deed to be recorded with the Van Buren County Register of Deeds, with a copy of the recorded document filed with the Village. The Village Attorney should review the draft of the master deed prior to its recordation. This is a step that can be handled administratively once approved by the Village Council, and has been recommended as a condition of final PUD approval.

Section 559.241 of the Condo Act requires a condo project to comply with applicable local ordinances, and prohibits a local unit from treating a condo project differently than a project that proposes another form of ownership, such as a site condominium, plat, or metes and bounds splits. Since the Village of Paw Paw Zoning Ordinance does not contain specific provisions for a traditional condominium development, the project is subject to site plan review, as indicated earlier in this report. **The applicant acknowledges the requirements with the Condo Act.**

Recommendation. It is recommended that the Planning Commission carefully consider comments made at the public hearing both from the public and the applicant, as well as comments from staff and those outlined in this report. In our experience, residential developments such as this take some time to ensure that all the "boxes are checked". In our view, this development will be approvable, however, there are some details that the submittal is lacking that could impact the layout of the development, particularly as it relates to the right of way width, distance to wetlands, and floor areas. We would recommend that the Planning Commission offer a bit more time to the applicant to allow for this information to be included in the site plan. It is also recommended that the applicant seek input from the Village Fire Department, Department of Public Services, Van Buren County Drain Commission, and EGLE relevant to the various aspects of the plan that these agencies would have jurisdiction over.

We fully anticipate cooperation from the applicant to work these issues out, as the review process has gone smoothly thus far. The Village is in need of additional housing stock, though there is only one chance to ensure all the "boxes are checked", thus rushing toward an approval is not recommended here.

Our new recommendation, based on the revisions to the site plan and the additional information provided, is for the Planning Commission to forward a favorable recommendation to the Village Council for the approval of the proposed development. A

sample motion, with conditions is provided below and any others deemed necessary by the Planning Commission:

I move to approve the PUD as a special land use and site plan for the Heritage Woods 38-unit condominium (19 duplex buildings) project, located on the following parcels: 80-47-582-057-30, 80-47-582-062-30, 80-47-582-062-20, 80-47-582-062-11, including departures from the zoning ordinance as it relates to front and rear yard setbacks, a 10' wide landscaped buffer along only Units 1-12, a 60' right of way width for Heritage Woods Court, subject to the following conditions:

1. Prior to the issuance of any permits, the applicant shall have paid all application, permit, reimbursable escrow, and other fees related to the request.
2. The approved site plan shall comply with all applicable federal, state, and local requirements. Copies of all applicable permits shall be submitted to the Village from the appropriate approving authorities stating that the minimum requirements have been met.
3. A statement from EGLE shall be submitted to the Village which indicates that a permit is not required for wetland impact as a result of the condominium development, prior to any earth work on the site.
4. The Village Fire Department shall review all plans and approve the roadway design for compliance with the Fire Code, prior to the construction of any road infrastructure.
5. The stormwater management design for the subject site shall comply with the requirements of the Van Buren County Drain Commission, prior to the issuance of any zoning or building permits for the building or parking lot.
6. The applicant shall revise the site plan to accurately indicate the width of the Old Lane Road and Davis Street rights of way.
7. The applicant shall clarify the number of parking spaces and ensure accuracy in a revised site plan.
8. The applicant shall work with the Village manager to determine the timeframe for sidewalk installation. The applicant may be required to provide a financial guarantee to ensure quality completion of all sections of sidewalk along the PUD frontage areas of Davis Street, Old Lane Road, and Heritage Woods Court.
9. The applicant shall comply with the requirements of the Condominium Act (Act 59 of 1978, as amended), including the drafting of a master deed document, which shall be reviewed by the Village Attorney prior to recordation. The master deed shall be recorded prior to the issuance of any building or zoning permits for the condominium units.

- 10.** The master deed described in Condition #9 shall contain a provision acknowledging the responsibility to install and maintain 35 Colorado Spruce trees along the property line as shown on Sheet C-3 and as described in the Landscape Notes on the plan set dated 1/29/2025.
- 11.** The applicant shall install the 35 Colorado Spruce trees along the property line as shown on Sheet C-3 and as described in the Landscape Notes on the plan set dated 1/29/2025 prior to the issuance of any building permits. If the growing season is not ideal at the time the applicant requests building permits, the applicant shall provide the Village with a performance bond in the amount equal to the cost of the 35 trees and their installation as documented on a quote from a landscaping company or nursery, prior to the issuance of a building permit. The applicant will be reimbursed upon the planting of the 35 trees as required during the next viable planting season.
- 12.** The applicant shall draft and record public easement measured 25 feet from each side of the centerline of the Scotese Drain to the satisfaction of the Van Buren County Drain Commission. A copy of the recorded easement document shall be furnished to the Village, prior to the occupancy of any condominium units.

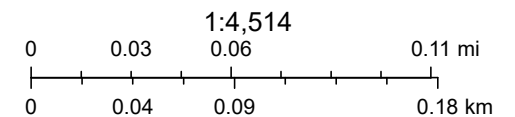
Van Buren County Parcel Record



10/25/2024, 11:45:09 AM

 County Drains
 Parcels
Parcel Dimensions  Subdivisions

PARCEL A: 80-47-582-057-30
PARCEL B: 80-47-582-062-30
PARCEL C: 80-47-582-062-20
PARCEL D: 80-47-582-062-11



Maxar

Fee: \$300 plus \$100 per hr over 3 hours. Parcels over 1 acre require \$700 escrow with application. Escrow agreement required.



OFFICE USE ONLY

Date Rec'd _____
Fee Rec'd _____
Receipt # _____
Hearing date _____

Site Plan Review Application

Greg Watts - Prime Homes greg@myprimehome.net (269) 207-2495
Applicant's Name Email Telephone Number

415 Treasure Island Dr. Mattawan, MI 49071
Applicant's Address City, State Zip Code

Property Owners (if different from the Applicant)

Name: _____ Telephone: () _____

Does the title holder know of this application and consent to its submittal? ☐ Yes ☐ No

Property Address: Parcels: 80-47-582-057-30, 80-47-582-062-30, 80-47-582-062-20, 80-47-582-062-11

80- 47 - 582 - 057 - 30 11.95 R-2/ PUD
Parcel ID Number Parcel Size (acres) Zoning District

Legal Description: 1355-F3 12-3-14 854-672 868-453 1372-68 1556-179 1593-237 1653-345 1738-735 1756-321 1765-652 *** COM AT E 1/4 POST, TH N88D20'37"W 2323.99 FT TO SE COR CEM, TH N01D28'12"E 418.60 FT ALG E L CEM TO BEG, TH N35D14'35"E 901.40 FT ALG ELY L MAPLE STREET SUB EXT, TH S65D44'33"E 497.34 FT, TH S00D16'46"E 318.93 FT, TH N88D20'37"W 397.00 FT, TH S00D16'46"E 241.17 FT, TH N88D20'37"W 579.71 FT TO BEG. *** SPLIT ON 02/14/2024 FROM 80-47-582-057-01 FOR 2024

Proposed use of the property: Residential Condominiums

Are there any plat restrictions or easements? If so, please explain N/A

19 66,362 sf 38
Number of structures Area of structures Number of housing units

Applicant's standing (interest) in the site (check one):

☒ Property Owner ☐ Purchaser ☐ Tenant/Lessee ☐ Other Interest

Fee: \$300 plus \$100 per hr over 3 hours. Parcels over 1 acre require \$700 escrow with application.
Escrow agreement required.

Why is a site plan is required for this project?

- ☐ Construction of a new building other than a single or two-family residence or a building that is accessory to such a use.
- ☐ Construction of an addition of 1,000 S.F. or greater to a building other than a single or two-family residence or buildings accessory to them
- ☐ Construction, use or establishment of a parking or storage area or expansion of existing parking lots of one thousand (1,000) square feet or more or ten (10%) percent over 12 months whichever is less.
- ☒ Special Land Use
- ☐ Substantial change in use or class of use
- ☐ The erection of, or addition to, any major utility service facilities, including towers, substations, pump stations or similar facilities.

In addition to this application, you must submit 11 copies of the site plan along with drawings or sketches of the exterior and elevations, and/or perspective drawings of the building or structures under consideration. Planning Commission meetings are typically held the first Thursday of each month. Village Council meetings are typically held the second and fourth Monday of each month. Approved site plans shall commence construction within a period of 12 consecutive months after date of approval by the Village Council or the site plan shall be deemed expired.

Certification

I, the undersigned, acknowledge that approval of this site plan by the Paw Paw Village Council constitutes and agreement with the Village of Paw Paw and all improvements and obligations indicated herein shall be completed in a good and workmanlike manner, acceptable to the Village, within the times specific by ordinance.

I certify that all statements made above and in attached documents submitted to the Village of Paw Paw related to this application are true and accurate to the best of my knowledge and that if found to be in error, any decision of the Village based upon the contents of this application may be void.



Owner/Agent Signature

Alex Frazier - Agent for Greg Watts, Prime Homes

December 13, 2024

Date

Fee: \$300 plus \$100 per hr over 3 hours. Parcels over 1 acre require \$700 escrow with application.
Escrow agreement required.

Site Plan Requirements Checklist

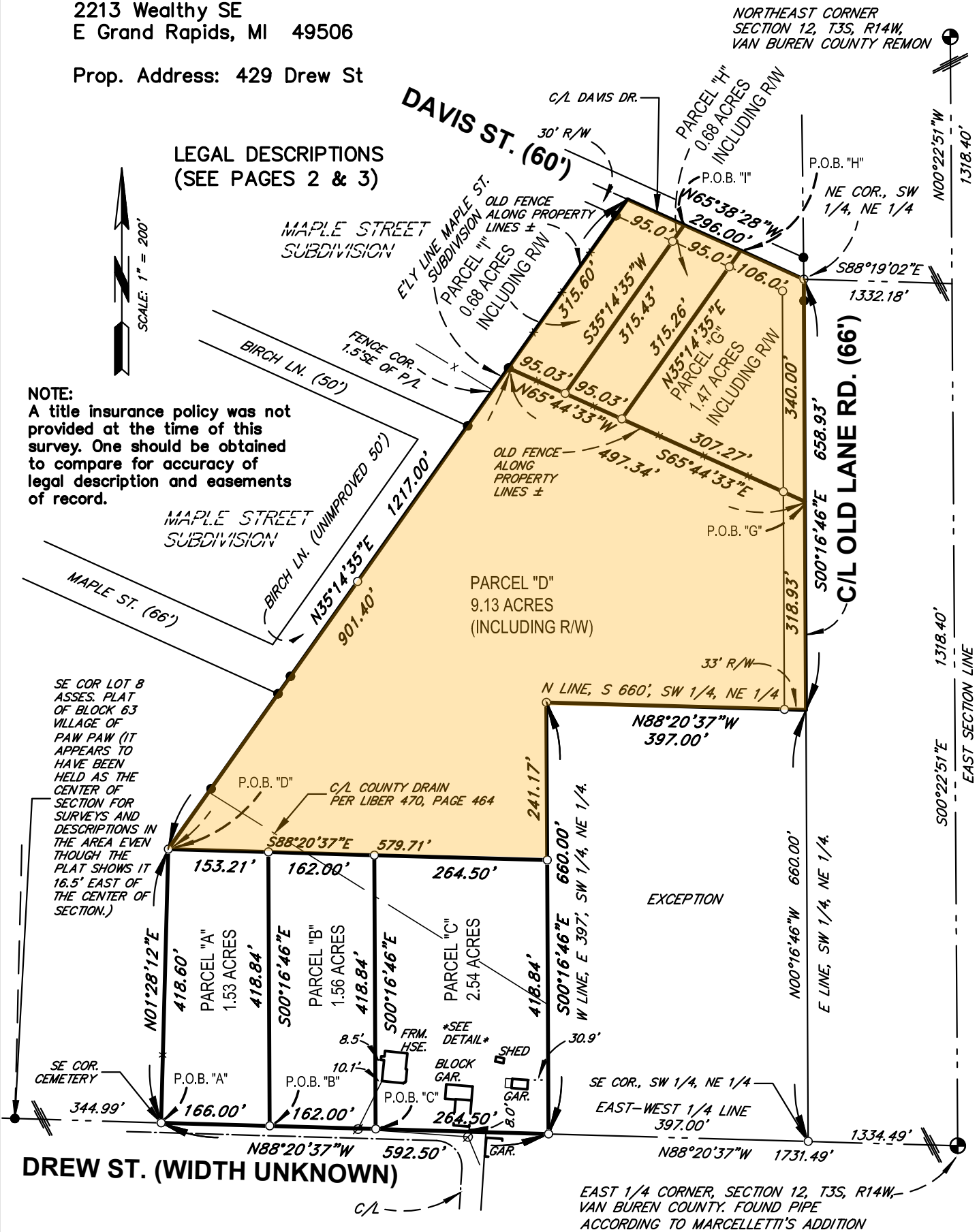
The following information shall be included on the site plan:

- ☒ A scale of not less than one inch equals 40 feet, if the subject property is less than three acres, and one inch equals 100 feet if it is three acres or more.
- ☒ Date, north point and scale.
- ☒ The dimensions of all lot and property lines, showing the relationship of the subject property to abutting properties.
- ☒ The siting of all structures, including outside mechanical equipment, on the subject property and abutting properties.
- ☒ The location of each proposed structure in the development area, the use to be contained therein, the number of stories, gross building areas, distances between structures and lot lines, setback lines, and approximate location of vehicular entrances and loading points.
- ☒ The location of all existing and proposed drives and parking areas with the number of parking and/or loading spaces provided.
- ☒ All pedestrian walks, malls and open areas.
- ☒ Location, height, and material of all walls, fences and screen plantings, including a general plan for the landscaping and/or screening of the development and the method by which the landscaping and/or screening is to be accomplished and maintained.
- ☒ The location and right-of-way widths of all abutting streets.
- ☒ Types of surfacing, such as paving, turfing or gravel to be used at the various locations.
- ☒ A storm water disposal plan including a grading plan with topographic elevations of the site and surrounding area, showing the proposed method of storm water disposal, and providing design criteria and calculations in accordance with criteria identified in subsection 42-402(3)q.
- ☒ Size and location of proposed sewer and water lines and connections.
- ☒ The number of proposed units (for multiple-family developments).
- ☒ Significant environmental features such as wetlands, shoreline, streams, woodlots, existing trees and vegetation.
- ☒ Information as may be required by the planning commission and village council to assist in the consideration of the proposed development.
- ☒ The location, type and intensity of proposed exterior lighting.
- ☒ Storm drainage controls must be provided to maintain groundwater discharge, prevent flooding and minimize the potential for pollutants to enter waterways. For the first flush calculation, if on site retention (detention or infiltration) is proposed, storm water (capacity) retention is required in the amount of 1,815 cubic feet per impervious acre which is equivalent to 0.5 inch of runoff per impervious acre. A minimum volume of 550 cubic feet shall be retained for sites less than 0.3 acres of impervious surface. For storm water which is to be directed off site, detention must be provided with a 25-year storm event, volume to be released at 0.15 cubic feet per second per contributing catchment acre

Date: September 5, 2023
For: DeVisser, Evan
Greenridge Realty
2213 Wealthy SE
E Grand Rapids, MI 49506

Revised: January 31, 2024
(combine prev. D, E & F)

Prop. Address: 429 Drew St



This survey was made from the legal description shown hereon. The drawing and description should be compared to the Abstract of Title or Title Insurance Policy for easements, restrictions, rights-of-way, or differences in description not indicated hereon. I certify that the requirements for 1970 PA 132, MCL 54.213 have been met. The relative positional precision of the corners identified for this survey and shown on the map are within the limits accepted by the practice of professional surveying.

LEGEND ○ - SET 1/2"x18" CAPPED IRON ● - IRON FOUND □ - WOOD STAKE - R - RECORDED DIMENSION - D - DEED DIMENSION - P - PLATTED DIMENSION - M - MEASURED DIMENSION ℄ - CENTERLINE - x-x - FENCE LINE	 Roosien & Associates SURVEYING AND ENGINEERING 5055 PLAINFIELD AVENUE, NE GRAND RAPIDS, MICHIGAN 49525 TELE. (616) 361-7220	 BY 
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Wetland Delineation Survey



Site:

Old Lane Road Development
Village of Paw Paw, Van Buren County, Michigan 49079
Parcel IDs: 80-47-582-057-30, 80-47-582-062-11,
80-47-582-062-20, and 80-47-582-062-30
MCE Project No. 51861

Prepared For:

Mr. Alex Frazier, PE
2800 S. 11th Street
Kalamazoo, MI 49009

Date: June 14, 2024

TABLE OF CONTENTS

1.0 INTRODUCTION	2
1.1 Wetland Authority	2
1.2 Definitions.....	3
1.3 General Description	4
2.0 METHODS.....	5
2.1 Background Information.....	5
2.1.1 NWI Map (Figure 4)	5
2.1.2 EGLE Wetland Mapper (Figure 5).....	5
2.1.3 Van Buren County Soil Survey (Figure 6)	6
2.2 Wetland Criteria.....	6
2.3 Field Investigations.....	6
3.0 FINDINGS.....	7
3.1 Wetland Environments.....	7
3.1.1 Wetland Area #1	7
3.1.2 Wetland Area #1a.....	8
3.2 Upland Environments	8
3.2.1 Upland Area #1.....	9
4.0 SUMMARY AND CONCLUSIONS.....	9
REFERENCES.....	10

FIGURES

- Figure 1:** Location of Property (1 mi)
Figure 2: Location of Property (1,000 ft)
Figure 3: County Provided Parcel Boundaries
Figure 4: National Wetlands Inventory Map
Figure 5: EGLE Environmental Mapper - Wetlands
Figure 6: Soil Map – Van Buren County, Michigan
Figure 7: Onsite Wetland Boundaries

APPENDICES

- Appendix A:** Northcentral Northeast Regional Data Forms
Appendix B: Site Photographs

1.0 INTRODUCTION

Mr. Alex Frazier, PE, contracted Michigan Consulting & Environmental (MCE) to conduct a wetland delineation survey on four parcels of land totaling approximately 11.96-acres located at the Old Lane Road Development, Paw Paw, Van Buren County, Michigan. The Parcels are colloquially known as Parcel D (80-47-582-057-30), Parcel G (80-47-582-062-11), Parcel H (80-47-582-062-20), and Parcel I (80-47-582-062-30). The area surveyed during this wetland delineation is intended for residential redevelopment and is located within T03S, R14W, Section 12 of the Village of Paw Paw limits, Paw Paw, Van Buren County, Michigan (**Figures 1, 2 and 3**). This wetland delineation was performed in general accordance with Federal and State criteria. Methods and results of this delineation are provided in this report.

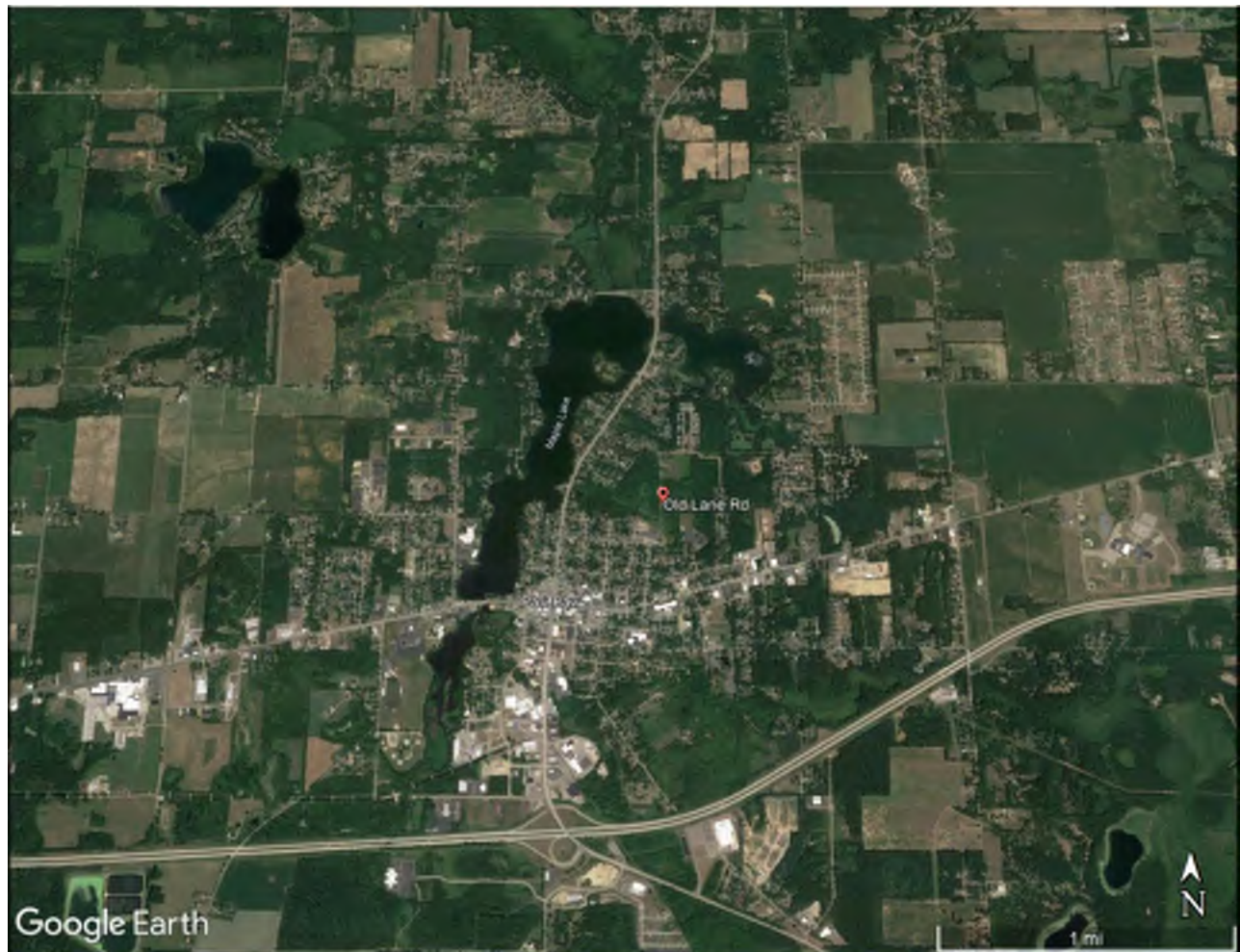


Figure 1. Location of Property (1 mi)

1.1 Wetland Authority

Wetland environments are regulated as “waters of the United States” pursuant to Section 404 of the Clean Water Act (CWA). Section 404 of the CWA provides authority to the US Environmental Protection Agency (USEPA) and the US Army Corps of Engineers (ACOE) to evaluate activities and issue permits for the discharge of dredged or fill materials in jurisdictional wetlands.

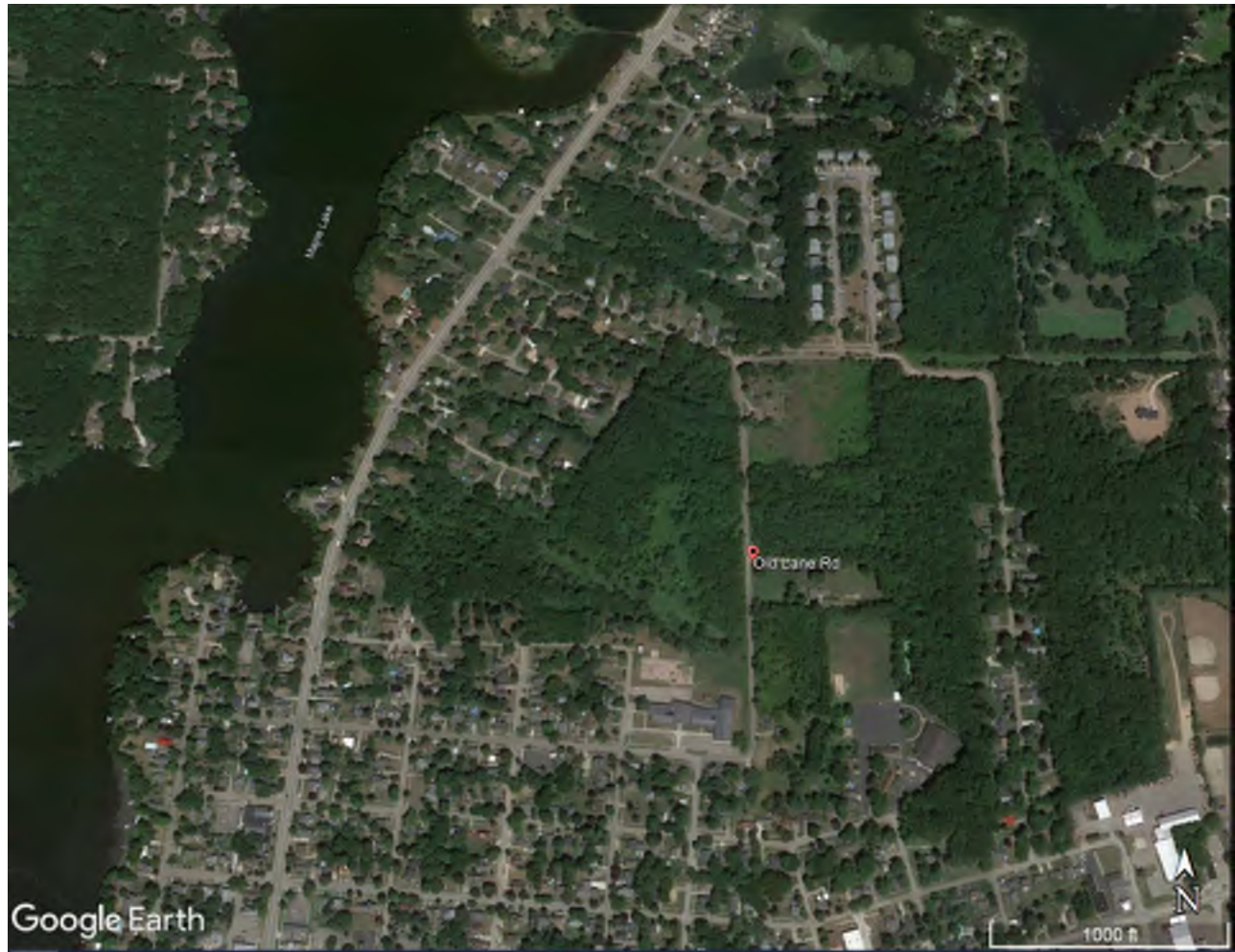


Figure 2. Location of Property (1,000 ft)

In Michigan, the Department of Environment, Great Lakes, and Energy (EGLE) has been delegated authority by the Federal government to regulate activities in Michigan wetlands. This authority is pursuant to a memorandum of agreement between the Federal and State governments, and Part 303 of the State of Michigan Natural Resources and Environmental Protection Act (P.A. 451 of 1994 as amended with Michigan P.A. 98 of 2013).

Certain wetlands within the State of Michigan, including those wetlands that are contiguous with the Great Lakes, St. Clair River, Lake St. Clair, and the Detroit River are regulated by both the ACOE and EGLE.

1.2 Definitions

To provide federal methods and guidelines to determine whether an area is a wetland under federal jurisdiction pursuant to Section 404 of the US Clean Water Act, the ACOE developed its 1987 Wetlands Delineation Manual (ACOE 1987) and the current Regional Supplement to the Corps of Engineers Wetland Delineation Manual (ACOE 2012, current Regional Supplement). EGLE utilizes the 1987 Wetlands Delineation Manual (1987 Manual) and the current Regional Supplement for the delineation of wetland environments.

The 1987 Manual (and the current Northcentral and Northeast Regional Supplement) describes three diagnostic environmental criteria as characteristic of wetlands: (1) predominance of hydrophytic vegetation; (2) presence of hydric soils; and (3) presence of wetland hydrology. A listing and classification of hydrophytic vegetative species (i.e., species adapted to and occurring within frequently inundated or saturated environments) is provided in The National Wetland Plant List: 2016 Wetland Ratings used by the ACOE (Lichvar, R.W., et al. 2016). The 1987 Manual and the Regional Supplement provide the following definitions:

- Hydric soils are “saturated, flooded, or ponded long enough during the growing season to develop anaerobic conditions that favor the growth and regeneration of hydrophytic vegetation.”
- The term "wetland hydrology" encompasses all hydrologic characteristics of areas that are periodically inundated or have soils saturated to the surface at some time during the growing season. Areas with evident characteristics of wetland hydrology are those where the presence of water has an overriding influence on characteristics of vegetation and soils due to anaerobic and reducing conditions, respectively. Hydrology is often the least exact of the parameters, and indicators of wetland hydrology are sometimes difficult to find in the field. However, it is essential to establish that a wetland area is periodically inundated or has saturated soils during the growing season.
- The 1987 Manual defines "growing season" as the portion of the year when soil temperature (measured 20 inches below the surface) is above biological zero (5°C or 41°F). This period "can be approximated by the number of frost-free days. Estimated starting and ending dates for the growing season are also based on 28°F air temperature thresholds at a frequency of 5 years in 10. The soil survey for Van Buren County has determined that during 28°F air temperature at a frequency of 5 years in 10 has led to a growing season that begins on 15 May and ends on 5 October (USDA 2004).
- A positive wetland indicator must be present for **each of the three** diagnostic environmental criteria, except in certain situations, for an environment to be regulated under Section 404 of the CWA or Michigan PA 451.

1.3 General Description

The Property is located within the Village of Paw Paw limits, Van Buren County, Michigan and contains both upland and wetland environments. The Property is currently undeveloped with heavy vegetation and tree cover and is located on the west side of Old Lane Road and south of Davis Street. The Scio County Drain runs through the southeast corner of the Property and Maple Lake is located approximately 900 feet to the west. A proposed redevelopment area is located within the parcel, and the wetland delineation survey area boundaries were determined by the area of this proposed development.

The surrounding properties are vacant to the east, residential to the north, south, east, and west, and a school is located to the south.



Figure 3. County Provided Parcel Boundaries

2.0 METHODS

2.1 Background Information

Prior to and during site evaluations, pertinent background information including aerial photography, the US Geological Survey quadrangle, the US Fish and Wildlife Service's National Wetland Inventory (NWI) map (**Figure 4**), the EGLE Wetland Mapper (**Figure 5**), and the Van Buren County Soil Survey (**Figure 6**) were reviewed as part of the wetland delineation process.

The Quaternary surficial geology of the site and the surrounding region consists of coarse-textured glacial till and glacial outwash sand, gravel, and postglacial alluvium.

2.1.1 NWI Map (Figure 4)

Freshwater forested/shrub wetlands are shown on the southeast portion of the site, and a small portion of freshwater forested/shrub and freshwater emergent wetlands are shown on the southwest corner of the Property, near the county drain location.

2.1.2 EGLE Wetland Mapper (Figure 5)

Hydric soils are shown on the southeast and southwest portions of the site and are generally correlated with the areas shown on the NWI map.

2.1.3 Van Buren County Soil Survey (Figure 6)

The survey area is shown to include the following soils:

Table 1. Site Soils

Map Symbol	Soil	Hydric Rating
64B	Urban land-Coloma complex, 0 to 6 percent slopes	No
37A	Thetford loamy sand, 0 to 2 percent slopes	No
HgtahA	Houghton muck, 0 to 1 percent slopes	Yes
26	Gilford sandy loam, 0 to 1 percent slopes	Yes
AdraaA	Adrian muck, 0 to 1 percent slopes	Yes

2.2 Wetland Criteria

Wetland environments were determined and delineated based on a combined assessment of the vegetation, soils, and hydrologic criteria as set forth by in the 1987 Manual and the current Northcentral-Northeast Regional Supplement. The 1987 Manual requires, under normal circumstances, that an area contain a predominance (more than 50%) of hydrophytic vegetation, a presence of hydric soils, and evidence of wetland hydrology to be considered a wetland environment. These criteria are further specified on a regional basis in the Northcentral-Northeast Regional Supplement.

2.3 Field Investigations

On May 15, 2024, MCE's Wetland Scientists conducted field investigations to document plant species dominance, soil characteristics, and wetland hydrology indicators in general accordance with the 1987 Manual and the current Northcentral-Northeast Regional Supplement. Because wetland vegetation determinations should be based on the plant community normally present during the wet portion of the growing season, the ACOE manual indicates that delineations should occur during the growing season to the extent possible.

Wetland delineation data were collected and documented at multiple sampling locations at the site. Environments and soils were also photo-documented, and wetland data forms (from the Northcentral and Northeast Regional Supplement) were completed to document wetland characteristics and criteria at each sampling location (**Appendix A**).

Plants were identified to species using appropriate field guides (Barnes and Wagner 1996; Little 1985; Lund 1988; Knobel 1977; Niering 1989) and plant keys (Voss 1972, 1985, 1996; Voss and Reznicek 2012). The wetland status of each plant species was confirmed in accordance with by ACOE National Wetland Plant List 2016 Wetland Ratings (Lichvar, et al. 2016). Summaries of the vegetative species documented at the site are provided in **Tables 1 and 2** below.

Soil samples were collected at the site using an 18" drain spade to determine the presence of hydric soil conditions. The soil samples were classified by color according to the standardized Munsell Soil Color Charts (Munsell 2000); by texture according to USDA classifications (USDA 1992; USDA 1993); and evaluated according to recognized hydric criteria (1987 Manual and the current regional supplement).

Wetland hydrology was evaluated and documented in accordance with criteria and indicators described in the 1987 Manual and the current regional supplement.

Representative data sheets were completed while onsite, to describe the wetland and upland environments occurring at the site. Additional field plots were completed which included digging soil pits for the examination of soil properties, evaluation of hydrologic indicators, and surveys of the dominant vegetation community. These field plots were conducted within suspect wetland areas and along wetland-upland boundaries for delineation purposes; however, as wetland indicators were not determined to exist in the areas of these random field plots, documented data forms were not completed.

Based on the assessment of the vegetation, soils, and hydrologic criteria as described in the 1987 Manual and the current Regional Supplement, MCE's Wetland Scientists utilized GPS survey equipment with MDOT Cors real time corrections to map the upland and wetland environments existing at the site (**Figure 7**).

3.0 FINDINGS

In accordance with criteria described in the 1987 Manual and the current Northcentral-Northeast Regional Supplement, both upland and wetland environments were documented and delineated on the Property. Wetland environments occurred in the south-central/south-east portion of the site (freshwater forested wetland), and the southwest corner of the site flanking the county drain (freshwater emergent wetland). The area southwest of the county drain was inaccessible to MCE's wetland field scientists due to drastic elevation differences and densely overgrown vegetation, but it is assumed based on the local hydrology and soils, and the NWI mapper, that this area is highly likely to contain wetlands as well, and has been marked as such for purposes of this report (See **Figure 7**). Upland environments consisted primarily of forested areas at a slightly higher microtopographic elevation. Vegetated upland areas are distinguished from wetland areas by minor differences in elevation, differing herbaceous layer plant communities, and a lack of wetland hydrology indicators.

3.1 Wetland Environments

Confirmed wetland environments identified within the survey area include freshwater forested/shrub wetlands (Wetland #1), and a combination of forested/shrub wetlands and freshwater emergent wetlands (Wetland #1B; unmapped south of the county drain due to inaccessibility, but assumed to be wetlands), and occupy approximately 2.23 acres of the approximately 11.96-acre site.

3.1.1 Wetland Area #1

Wetland Area #1 is located in the south-central/south-east portion of the site. The general vegetative community species, with respective wetland indicator status that were found within this wetland area, are provided in **Table 2** below.

Table 2. General Vegetative Community Species and Wetland Indicator Status

Plant Species	Common Name	Wetland Rating
<i>Acer saccharinum</i>	Silver maple	FACW
<i>Fraxinus nigra</i>	Black ash	FACW
<i>Fagus grandifolia</i>	American beech	FACU
<i>Nyssa sylvatica</i>	Black tupelo	FAC
<i>Rubus flagellaris</i>	Northern dewberry	FACU
<i>Viburnum dentatum</i>	Arrowwood viburnum	FAC
<i>Ficaria verna</i>	Lesser celandine	FACW
<i>Carex sprengei</i>	Long-beaked sedge	FAC

FAC: Facultative

FACW: Facultative wetland

FACU: Facultative upland

The vegetative community species in Wetland Area #1 pass the Dominance Test (80%) and are therefore indicative of hydrophytic vegetation.

The typical soil profile observed in Wetland Area #1 consisted of a black 10YR 2/1 mucky sandy soil to a depth of 8 inches, underlain by a grayish brown 2.5Y 5/2 sandy soil to a depth of 12 inches. At this depth, the hole began to immediately fill with water, preventing further depths from being reached. No redox features were observed.

Additional hydric soil indicators present included a histic epipedon, black histic, hydrogen sulfide odor, sandy mucky mineral, and dark surface. Therefore, the soils in Wetland Area #1 are indicative of hydric soils.

Field indicators of wetland hydrology within Wetland Area #1 include: surface water (approximately 3-inch depth), high water table, saturation (approximately 8 inches below ground surface), water marks, sparsely vegetated concave surfaces, water-stained leaved, hydrogen sulfide odor, and a thin muck surface. Two secondary indicators of wetland hydrology were also noted: moss trim lines and Fac-Neutral test. Therefore, wetland hydrology is present within Wetland Area #1.

3.1.2 Wetland Area #1a

Wetland Area #1a is located in the southwest corner of the site surrounding the county drain. The area southwest of the county drain was inaccessible to MCE's wetland field scientists due to drastic elevation differences and densely overgrown vegetation, but it is assumed based on the local hydrology and soils, and the NWI mapper, that this area is highly likely to contain wetlands as well, and has been included as such for purposes of this report (See **Figure 7**).

3.2 Upland Environments

Confirmed upland (non-wetland) environments occupy the remainder of the investigated site. Upland environments consisted primarily of forested areas at a slightly higher microtopographic elevation. The forested upland environment tree assemblage is similar to the tree assemblages found within the forested wetland; however, the herbaceous communities exhibit variation based on hydrology.

3.2.1 Upland Area #1

The respective upland/wetland ratings of the dominant vegetation observed in Upland Area #1 are provided in **Table 3** below.

Table 3. General Vegetative Community Species and Wetland Indicator Status

Plant Species	Common Name	Wetland Rating
<i>Cercis canadensis</i>	Redbud	FACU
<i>Prunus serotina</i>	Black cherry	FACU
<i>Acer negundo</i>	Box elder	FAC
<i>Celastrus orbiculatus</i>	Asian bittersweet	FACU
<i>Rosa multiflora</i>	Rambler rose	FACU
<i>Ficaria verna</i>	Eurasian buttercup	FACW
<i>Fragaria virginiana</i>	Virginia strawberry	FACU
<i>Podophyllum peltatum</i>	Mayapple	FACU
<i>Maianthemum canadense</i>	False lily of the valley	FACU

FAC: Facultative

FACU: Facultative upland

FACW: Facultative Wetland

The vegetative community species in Upland Area #1 did not pass the Dominance Test (14.3%) or the Prevalence Index (3.32), and no morphological adaptations were observed; therefore, hydrophytic vegetation is not present in Upland Area #1.

The typical soil profile observed in Upland Area #1 consisted of a dark brown 7.5YR 3/2 sandy soil with fine, shallow roots present to a depth of 10 inches. This layer was underlain with a dark yellowish brown 10YR 4/4 sand layer to a depth of 12 inches. At this depth, the large roots were encountered which led to refusal. No redox features were observed.

No hydric soil indicators were observed to be present. Therefore, the soils in Upland Area #1 are not indicative of hydric soils.

No primary indicators of wetland hydrology were noted within Upland Areas #1. Therefore, wetland hydrology is not present within Upland Area #1.

4.0 SUMMARY AND CONCLUSIONS

Figures 7 & 8 (attached) provide maps of the wetlands and upland areas delineated via GPS on the Property. Under normal conditions, a positive wetland indicator must be present for each of the three diagnostic environmental criteria (hydrology, vegetation, soils) for an environment to be regulated under Section 404 of the CWA and/or Part 303 of the Michigan PA 451.

Data collected within the approximately 11.96-acre site determined that approximately 2.32 acres of land satisfied the three diagnostic wetland criteria and was delineated as a wetland environment, while the remainder of the survey area did not satisfy the three diagnostic wetland criteria and were designated as upland environments.

In general, the survey area exhibits wetland characteristics in the south-central/south-east portion of the site (freshwater forested wetland), and the southwest corner of the site surrounding the county drain (freshwater emergent wetland). The site consists of varying microtopographic elevations that impact

the differences in hydrogeology, and consequently, the wetland and upland areas on the Property exhibit differences in vegetative communities and soil types/hydrologic indicators.

According to applicable Part 303 regulations, isolated (non-contiguous) wetlands on a property with a total land area of less than 5 acres are not regulated unless they are connected to or within 500 feet of a surface water body, or are located within 1,000 feet of one of the Great Lakes or Lake St. Clair. "Connected" may also be interpreted as being connected hydraulically. Under Part 301 regulations (Inland Lakes and Streams), the onsite county drain is considered regulated water bodies. Therefore, the wetland areas identified by this delineation would be subject to Part 303 regulations.

This wetland delineation should be confirmed by EGLE prior to any activities that might be otherwise regulated by Part 303, Michigan Public Act 451 (as amended). MCE makes no representation, expressed or implied, that any governmental approvals or permits applied for will be obtained, or that such approvals or permits will be obtained without administrative delay.

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Figures



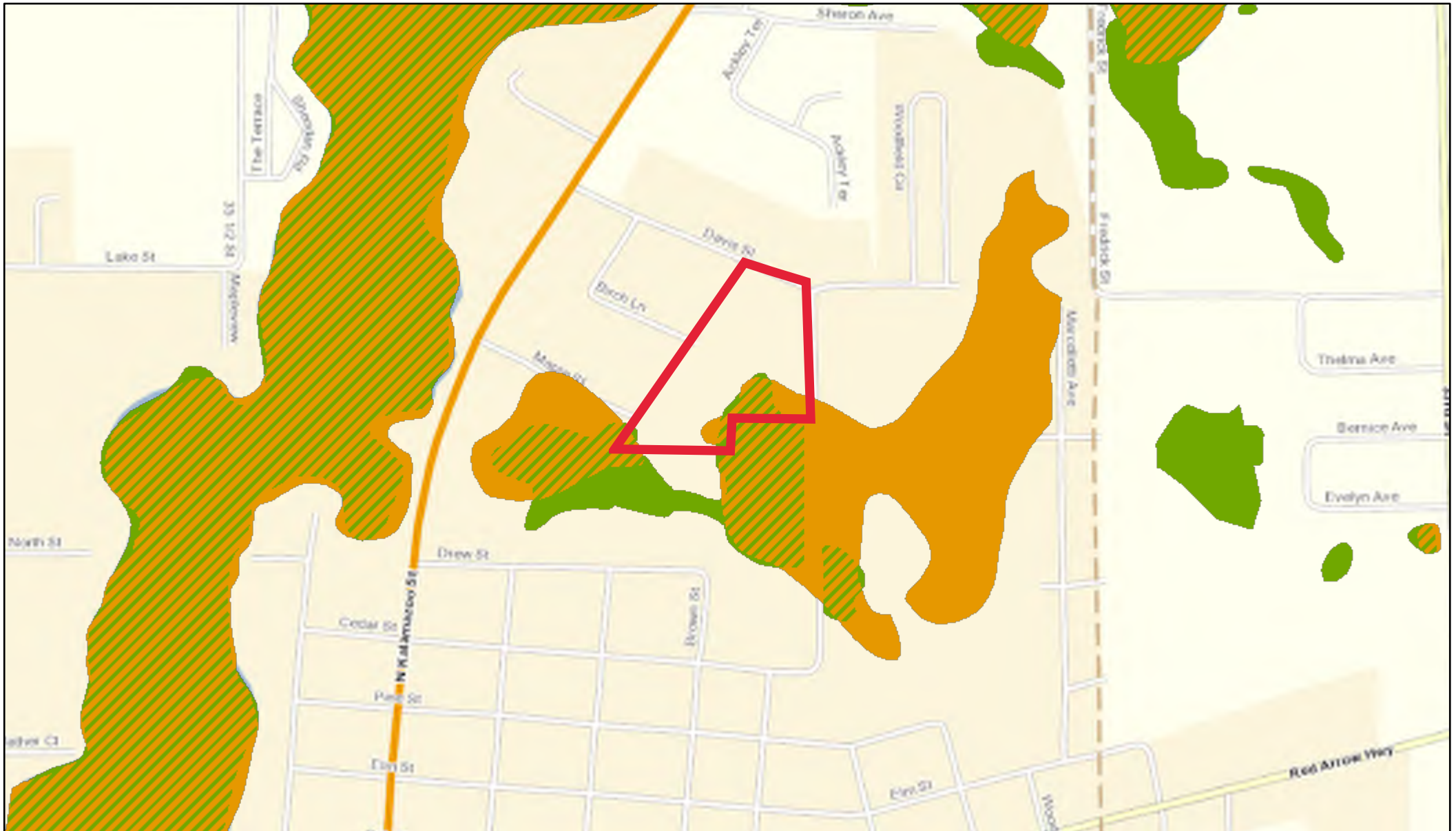
June 13, 2024

Wetlands

- | | | | | | |
|--|--------------------------------|--|-----------------------------------|--|-------|
| | Estuarine and Marine Deepwater | | Freshwater Emergent Wetland | | Lake |
| | Estuarine and Marine Wetland | | Freshwater Forested/Shrub Wetland | | Other |
| | Freshwater Pond | | Riverine | | |

This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currentness of the base data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.

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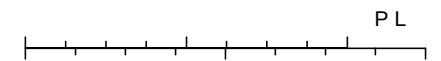


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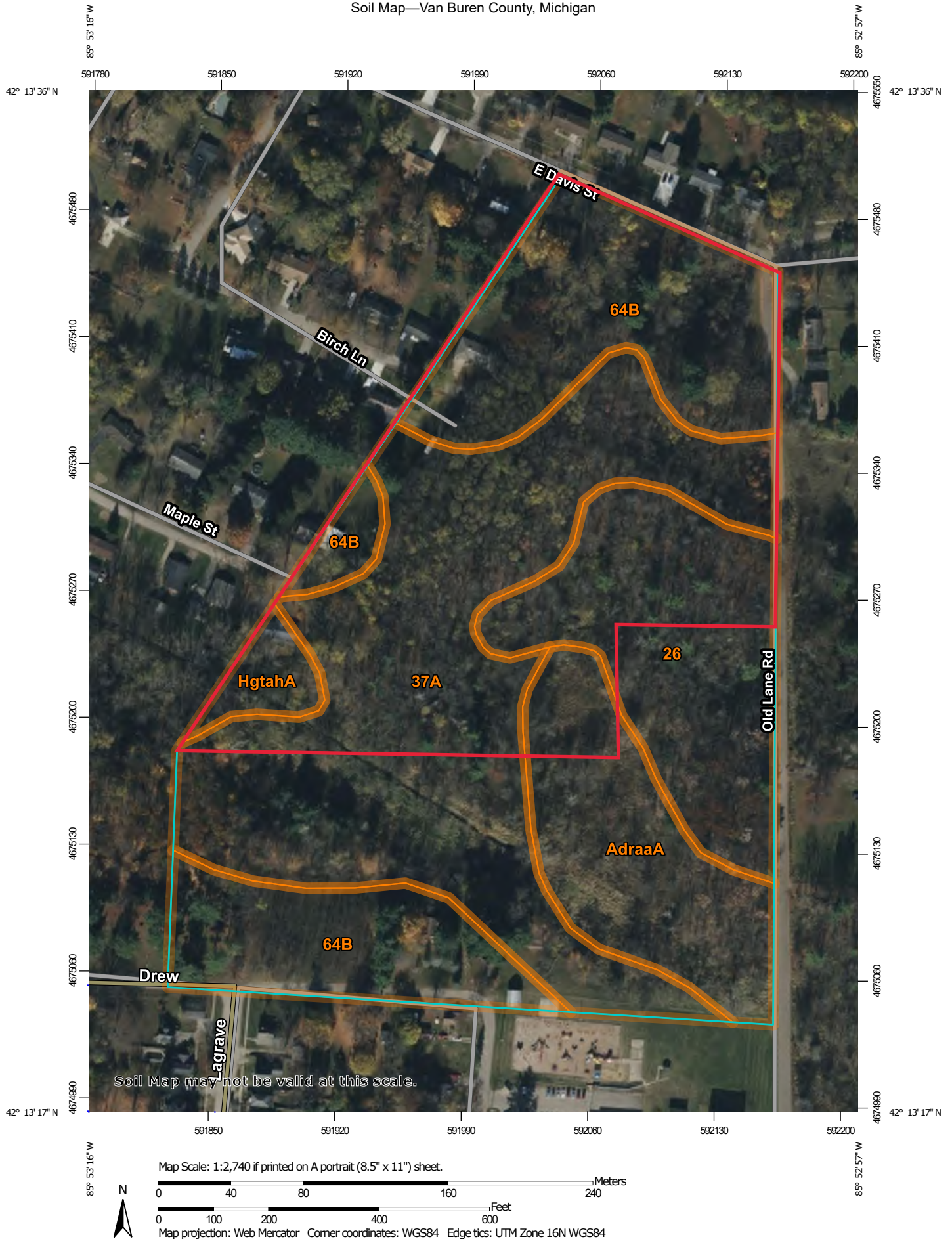
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NP

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Soil Map—Van Buren County, Michigan



Natural Resources
Conservation Service

Web Soil Survey
National Cooperative Soil Survey

5/7/2024
Page 1 of 3

MAP LEGEND

Area of Interest (AOI)

 Area of Interest (AOI)

Soils

 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

Special Point Features



Blowout



Borrow Pit



Clay Spot



Closed Depression



Gravel Pit



Gravelly Spot



Landfill



Lava Flow



Marsh or swamp



Mine or Quarry



Miscellaneous Water



Perennial Water



Rock Outcrop



Saline Spot



Sandy Spot



Severely Eroded Spot



Sinkhole



Slide or Slip



Sodic Spot



Spoil Area



Stony Spot



Very Stony Spot



Wet Spot



Other



Special Line Features

Water Features



Streams and Canals

Transportation



Rails



Interstate Highways



US Routes



Major Roads



Local Roads

Background



Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:15,800.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service

Web Soil Survey URL:

Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Van Buren County, Michigan

Survey Area Data: Version 19, Aug 25, 2023

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Oct 4, 2022—Nov 7, 2022

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
26	Gilford sandy loam, 0 to 1 percent slopes	4.8	16.8%
37A	Thetford loamy sand, 0 to 2 percent slopes	11.4	39.7%
64B	Urban land-Coloma complex, 0 to 6 percent slopes	8.0	28.0%
AdraaA	Adrian muck, 0 to 1 percent slopes	3.8	13.3%
HgtahA	Houghton muck, 0 to 1 percent slopes	0.6	2.2%
Totals for Area of Interest		28.6	100.0%



LEGEND

- Property Boundary
- Wetland Point
- Upland Point
- Delineated Wetland Boundary

Approximate Onsite Total
Wetland Size Within Survey Area:
2.32 acres

Property and Wetland Extents	
	Location: Old Lane Road Paw Paw, MI 49079
	Figure 7
	Drawing Date: 5/21/2024
	Project Number: 51861
	Project Manager: JMD
Approximate scale in feet	CAD File: 51861 CAD
	Drawn by: JMD
BRIGHTON KALAMAZOO MOUNT PLEASANT TRAVERSE CITY	



LEGEND

- Property Boundary
- Wetland Point
- Upland Point
- Delineated Wetland Boundary

Approximate Onsite Total
Wetland Size Within Survey Area:
2.32 acres

Onsite Wetland Boundaries	
	Location: Old Lane Road Paw Paw, MI 49079
	Figure 8
	Drawing Date: 5/21/2024
	Project Number: 51861
	Project Manager: JMD
Approximate scale in feet	CAD File: 51861 CAD
	Drawn by: JMD
BRIGHTON KALAMAZOO MOUNT PLEASANT TRAVERSE CITY	

Appendix A

U.S. Army Corps of Engineers WETLAND DETERMINATION DATA SHEET – Northcentral and Northeast Region See ERDC/EL TR-12-1; the proponent agency is CECW-CO-R	OMB Control #: 0710-0024, Exp: 11/30/2024 Requirement Control Symbol EXEMPT: (Authority: AR 335-15, paragraph 5-2a)
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Project/Site: Old Lane Road City/County: Paw Paw, Van Buren County Sampling Date: 5/15/24
Applicant/Owner: Greg Watts State: MI Sampling Point: WL1
Investigator(s): Jenna MacDonald, Cassidy Meister Section, Township, Range: T03S, R14W, Sec 12
Landform (hillside, terrace, etc.): Forested area Local relief (concave, convex, none): Concave Slope %: 0-2
Subregion (LRR or MLRA): LRR L Lat: 42.2240952 Long: -85.88571982 Datum: NAD83
Soil Map Unit Name: Thetford Loamy Sand NWI classification: None
Are climatic / hydrologic conditions on the site typical for this time of year? Yes X No (If no, explain in Remarks.)
Are Vegetation , Soil , or Hydrology significantly disturbed? Are "Normal Circumstances" present? Yes X No
Are Vegetation , Soil , or Hydrology naturally problematic? (If needed, explain any answers in Remarks.)

SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.

Hydrophytic Vegetation Present? Yes <u>X</u> No <u> </u>	Is the Sampled Area within a Wetland? Yes <u>X</u> No <u> </u> If yes, optional Wetland Site ID: <u> </u>
Hydric Soil Present? Yes <u>X</u> No <u> </u>	
Wetland Hydrology Present? Yes <u>X</u> No <u> </u>	

Remarks: (Explain alternative procedures here or in a separate report.)

HYDROLOGY

Wetland Hydrology Indicators: <u>Primary Indicators</u> (minimum of one is required; check all that apply) <u>X</u> Surface Water (A1) <u>X</u> Water-Stained Leaves (B9) <u>X</u> High Water Table (A2) <u> </u> Aquatic Fauna (B13) <u>X</u> Saturation (A3) <u> </u> Marl Deposits (B15) <u>X</u> Water Marks (B1) <u>X</u> Hydrogen Sulfide Odor (C1) <u> </u> Sediment Deposits (B2) <u> </u> Oxidized Rhizospheres on Living Roots (C3) <u> </u> Drift Deposits (B3) <u> </u> Presence of Reduced Iron (C4) <u> </u> Algal Mat or Crust (B4) <u> </u> Recent Iron Reduction in Tilled Soils (C6) <u> </u> Iron Deposits (B5) <u>X</u> Thin Muck Surface (C7) <u> </u> Inundation Visible on Aerial Imagery (B7) <u> </u> Other (Explain in Remarks) <u>X</u> Sparsely Vegetated Concave Surface (B8)	<u>Secondary Indicators</u> (minimum of two required) <u> </u> Surface Soil Cracks (B6) <u> </u> Drainage Patterns (B10) <u>X</u> Moss Trim Lines (B16) <u> </u> Dry-Season Water Table (C2) <u> </u> Crayfish Burrows (C8) <u> </u> Saturation Visible on Aerial Imagery (C9) <u> </u> Stunted or Stressed Plants (D1) <u> </u> Geomorphic Position (D2) <u> </u> Shallow Aquitard (D3) <u> </u> Microtopographic Relief (D4) <u>X</u> FAC-Neutral Test (D5)
---	---

Field Observations: Surface Water Present? Yes <u>X</u> No <u> </u> Depth (inches): <u>3</u> Water Table Present? Yes <u>X</u> No <u> </u> Depth (inches): <u> </u> Saturation Present? Yes <u>X</u> No <u> </u> Depth (inches): <u> </u> (includes capillary fringe)	Wetland Hydrology Present? Yes <u>X</u> No <u> </u>
---	---

Describe Recorded Data (stream gauge, monitoring well, aerial photos, previous inspections), if available:

Remarks:

VEGETATION – Use scientific names of plants.

 Sampling Point: WL1

Tree Stratum (Plot size: <u>30 SQ FT</u>)	Absolute % Cover	Dominant Species?	Indicator Status	
1. <u>Acer saccharinum</u>	<u>40</u>	<u>Yes</u>	<u>FACW</u>	Dominance Test worksheet: Number of Dominant Species That Are OBL, FACW, or FAC: <u>4</u> (A) Total Number of Dominant Species Across All Strata: <u>5</u> (B) Percent of Dominant Species That Are OBL, FACW, or FAC: <u>80.0%</u> (A/B)
2. <u>Fraxinus nigra</u>	<u>50</u>	<u>Yes</u>	<u>FACW</u>	
3. <u>Fagus grandifolia</u>	<u>5</u>	<u>No</u>	<u>FACU</u>	
4. <u>Nyssa sylvatica</u>	<u>5</u>	<u>No</u>	<u>FAC</u>	
5. _____	_____	_____	_____	
6. _____	_____	_____	_____	
7. _____	_____	_____	_____	
<u>100</u> =Total Cover				
Sapling/Shrub Stratum (Plot size: <u>15 SQ FT</u>)				
1. <u>Acer saccharinum</u>	<u>5</u>	<u>No</u>	<u>FACW</u>	Prevalence Index worksheet: Total % Cover of: _____ Multiply by: _____ OBL species _____ x 1 = _____ FACW species _____ x 2 = _____ FAC species _____ x 3 = _____ FACU species _____ x 4 = _____ UPL species _____ x 5 = _____ Column Totals: _____ (A) _____ (B) Prevalence Index = B/A = _____
2. <u>Fraxinus nigra</u>	<u>5</u>	<u>No</u>	<u>FACW</u>	
3. <u>Rubus flagellaris</u>	<u>30</u>	<u>Yes</u>	<u>FACU</u>	
4. <u>Viburnum dentatum</u>	<u>30</u>	<u>Yes</u>	<u>FAC</u>	
5. _____	_____	_____	_____	
6. _____	_____	_____	_____	
7. _____	_____	_____	_____	
<u>70</u> =Total Cover				
Herb Stratum (Plot size: <u>5 SQ FT</u>)				
1. <u>Ficaria verna</u>	<u>70</u>	<u>Yes</u>	<u>FACW</u>	Hydrophytic Vegetation Indicators: <u>1</u> - Rapid Test for Hydrophytic Vegetation <u>X</u> 2 - Dominance Test is >50% <u>3</u> - Prevalence Index is ≤3.0 ¹ <u>4</u> - Morphological Adaptations ¹ (Provide supporting data in Remarks or on a separate sheet) <u> </u> Problematic Hydrophytic Vegetation ¹ (Explain) ¹ Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic.
2. <u>Carex sprengeii</u>	<u>10</u>	<u>No</u>	<u>FAC</u>	
3. _____	_____	_____	_____	
4. _____	_____	_____	_____	
5. _____	_____	_____	_____	
6. _____	_____	_____	_____	
7. _____	_____	_____	_____	
8. _____	_____	_____	_____	
9. _____	_____	_____	_____	
10. _____	_____	_____	_____	
11. _____	_____	_____	_____	
12. _____	_____	_____	_____	
<u>80</u> =Total Cover				
Woody Vine Stratum (Plot size: _____)				
1. _____	_____	_____	_____	Definitions of Vegetation Strata: Tree – Woody plants 3 in. (7.6 cm) or more in diameter at breast height (DBH), regardless of height. Sapling/shrub – Woody plants less than 3 in. DBH and greater than or equal to 3.28 ft (1 m) tall. Herb – All herbaceous (non-woody) plants, regardless of size, and woody plants less than 3.28 ft tall. Woody vines – All woody vines greater than 3.28 ft in height.
2. _____	_____	_____	_____	
3. _____	_____	_____	_____	
4. _____	_____	_____	_____	
_____ =Total Cover				
Hydrophytic Vegetation Present? Yes <u>X</u> No _____				

Remarks: (Include photo numbers here or on a separate sheet.)

SOIL

Sampling Point: WL1

[illegible]

AGENCY DISCLOSURE NOTIFICATION

The public reporting burden for this collection of information, OMB Control Number 0710-0024, is estimated to average 30 minutes per response, including the time for reviewing instructions, searching existing data sources, gathering and maintaining the data needed, and completing and reviewing the collection of information. Send comments regarding the burden estimate or burden reduction suggestions to the Department of Defense, Washington Headquarters Services, at whs.mc-alex.esd.mbx.dd-dod-information-collections@mail.mil. Respondents should be aware that notwithstanding any other provision of law, no person shall be subject to any penalty for failing to comply with a collection of information if it does not display a currently valid OMB control number. **PLEASE DO NOT RETURN YOUR REQUEST TO THE ABOVE EMAIL.**

PRIVACY ACT STATEMENT

Authorities: Rivers and Harbors Act, Section 10, 33 USC 403; Clean Water Act, Section 404, 33 USC 1344; Marine Protection, Research, and Sanctuaries Act, Section 103, 33 USC 1413; Regulatory Programs of the Corps of Engineers; Final Rule 33 CFR 320-332. Principal Purpose: Information provided on this form will be used in evaluating the application for a permit. Routine Uses: This information may be shared with the Department of Justice and other federal, state, and local government agencies, and the public and may be made available as part of a public notice as required by Federal law. Submission of requested information is voluntary, however, if information is not provided the permit application cannot be evaluated nor can a permit be issued. One set of original drawings or good reproducible copies which show the location and character of the proposed activity must be attached to this application (see sample drawings and/or instructions) and be submitted to the District Engineer having jurisdiction over the location of the proposed activity. An application that is not completed in full will be returned. System of Record Notice (SORN). The information received is entered into our permit tracking database and a SORN has been completed (SORN #A1145b) and may be accessed at the following website: <http://dpcl.d.defense.gov/Privacy/SORNsIndex/DOD-wide-SORN-Article-View/Article/570115/a1145b-ce.aspx>

U.S. Army Corps of Engineers WETLAND DETERMINATION DATA SHEET – Northcentral and Northeast Region See ERDC/EL TR-12-1; the proponent agency is CECW-CO-R	OMB Control #: 0710-0024, Exp: 11/30/2024 Requirement Control Symbol EXEMPT: (Authority: AR 335-15, paragraph 5-2a)
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Project/Site: Old Lane Road City/County: Paw Paw, Van Buren County Sampling Date: 5/15/24
Applicant/Owner: Greg Watts State: MI Sampling Point: UP1
Investigator(s): Jenna MacDonald, Cassidy Meister Section, Township, Range: T03S, R14W, Sec 12
Landform (hillside, terrace, etc.): Forested area Local relief (concave, convex, none): None Slope %: 0-2
Subregion (LRR or MLRA): LRR L Lat: 42.22399649 Long: -85.88572729 Datum: NAD83
Soil Map Unit Name: Thetford Loamy Sand NWI classification: None
Are climatic / hydrologic conditions on the site typical for this time of year? Yes X No (If no, explain in Remarks.)
Are Vegetation , Soil , or Hydrology significantly disturbed? Are "Normal Circumstances" present? Yes X No
Are Vegetation , Soil , or Hydrology naturally problematic? (If needed, explain any answers in Remarks.)

SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.

Hydrophytic Vegetation Present? Yes <u> </u> No <u>X</u>	Is the Sampled Area within a Wetland? Yes <u> </u> No <u>X</u> If yes, optional Wetland Site ID: <u> </u>
Hydric Soil Present? Yes <u> </u> No <u>X</u>	
Wetland Hydrology Present? Yes <u> </u> No <u>X</u>	

Remarks: (Explain alternative procedures here or in a separate report.)

HYDROLOGY

Wetland Hydrology Indicators: <u>Primary Indicators</u> (minimum of one is required; check all that apply) <u> </u> Surface Water (A1) <u> </u> Water-Stained Leaves (B9) <u> </u> High Water Table (A2) <u> </u> Aquatic Fauna (B13) <u> </u> Saturation (A3) <u> </u> Marl Deposits (B15) <u> </u> Water Marks (B1) <u> </u> Hydrogen Sulfide Odor (C1) <u> </u> Sediment Deposits (B2) <u> </u> Oxidized Rhizospheres on Living Roots (C3) <u> </u> Drift Deposits (B3) <u> </u> Presence of Reduced Iron (C4) <u> </u> Algal Mat or Crust (B4) <u> </u> Recent Iron Reduction in Tilled Soils (C6) <u> </u> Iron Deposits (B5) <u> </u> Thin Muck Surface (C7) <u> </u> Inundation Visible on Aerial Imagery (B7) <u> </u> Other (Explain in Remarks) <u> </u> Sparsely Vegetated Concave Surface (B8)	<u>Secondary Indicators</u> (minimum of two required) <u> </u> Surface Soil Cracks (B6) <u> </u> Drainage Patterns (B10) <u> </u> Moss Trim Lines (B16) <u> </u> Dry-Season Water Table (C2) <u> </u> Crayfish Burrows (C8) <u> </u> Saturation Visible on Aerial Imagery (C9) <u> </u> Stunted or Stressed Plants (D1) <u> </u> Geomorphic Position (D2) <u> </u> Shallow Aquitard (D3) <u> </u> Microtopographic Relief (D4) <u> </u> FAC-Neutral Test (D5)
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Field Observations: Surface Water Present? Yes <u> </u> No <u>X</u> Depth (inches): <u> </u> Water Table Present? Yes <u> </u> No <u>X</u> Depth (inches): <u> </u> Saturation Present? Yes <u> </u> No <u>X</u> Depth (inches): <u> </u> (includes capillary fringe)	Wetland Hydrology Present? Yes <u> </u> No <u>X</u>
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Describe Recorded Data (stream gauge, monitoring well, aerial photos, previous inspections), if available:

Remarks:

VEGETATION – Use scientific names of plants.

 Sampling Point: UP1

Tree Stratum (Plot size: <u>30 SQ FT</u>)	Absolute % Cover	Dominant Species?	Indicator Status																	
1. <u>Cercis canadensis</u>	<u>60</u>	<u>Yes</u>	<u>FACU</u>	Dominance Test worksheet: Number of Dominant Species That Are OBL, FACW, or FAC: <u>1</u> (A) Total Number of Dominant Species Across All Strata: <u>7</u> (B) Percent of Dominant Species That Are OBL, FACW, or FAC: <u>14.3%</u> (A/B)																
2. <u>Prunus serotina</u>	<u>20</u>	<u>Yes</u>	<u>FACU</u>																	
3. <u>Acer negundo</u>	<u>5</u>	<u>No</u>	<u>FAC</u>																	
4. _____	_____	_____	_____																	
5. _____	_____	_____	_____																	
6. _____	_____	_____	_____																	
7. _____	_____	_____	_____																	
<u>85</u> =Total Cover																				
Sapling/Shrub Stratum (Plot size: <u>15 SQ FT</u>)																				
1. <u>Celastrus orbiculatus</u>	<u>20</u>	<u>Yes</u>	<u>FACU</u>	Prevalence Index worksheet: <table style="width: 100%;"> <thead> <tr> <th>Total % Cover of:</th> <th>Multiply by:</th> </tr> </thead> <tbody> <tr> <td>OBL species <u>0</u></td> <td>x 1 = <u>0</u></td> </tr> <tr> <td>FACW species <u>100</u></td> <td>x 2 = <u>200</u></td> </tr> <tr> <td>FAC species <u>6</u></td> <td>x 3 = <u>18</u></td> </tr> <tr> <td>FACU species <u>195</u></td> <td>x 4 = <u>780</u></td> </tr> <tr> <td>UPL species <u>0</u></td> <td>x 5 = <u>0</u></td> </tr> <tr> <td>Column Totals: <u>301</u> (A)</td> <td><u>998</u> (B)</td> </tr> <tr> <td colspan="2" style="text-align: center;">Prevalence Index = B/A = <u>3.32</u></td> </tr> </tbody> </table>	Total % Cover of:	Multiply by:	OBL species <u>0</u>	x 1 = <u>0</u>	FACW species <u>100</u>	x 2 = <u>200</u>	FAC species <u>6</u>	x 3 = <u>18</u>	FACU species <u>195</u>	x 4 = <u>780</u>	UPL species <u>0</u>	x 5 = <u>0</u>	Column Totals: <u>301</u> (A)	<u>998</u> (B)	Prevalence Index = B/A = <u>3.32</u>	
Total % Cover of:	Multiply by:																			
OBL species <u>0</u>	x 1 = <u>0</u>																			
FACW species <u>100</u>	x 2 = <u>200</u>																			
FAC species <u>6</u>	x 3 = <u>18</u>																			
FACU species <u>195</u>	x 4 = <u>780</u>																			
UPL species <u>0</u>	x 5 = <u>0</u>																			
Column Totals: <u>301</u> (A)	<u>998</u> (B)																			
Prevalence Index = B/A = <u>3.32</u>																				
2. <u>Rosa multiflora</u>	<u>10</u>	<u>Yes</u>	<u>FACU</u>																	
3. <u>Acer negundo</u>	<u>1</u>	<u>No</u>	<u>FAC</u>																	
4. _____	_____	_____	_____																	
5. _____	_____	_____	_____																	
6. _____	_____	_____	_____																	
7. _____	_____	_____	_____																	
<u>31</u> =Total Cover																				
Herb Stratum (Plot size: <u>5 SQ FT</u>)																				
1. <u>Ficaria verna</u>	<u>100</u>	<u>Yes</u>	<u>FACW</u>	Hydrophytic Vegetation Indicators: <u>1</u> - Rapid Test for Hydrophytic Vegetation <u>2</u> - Dominance Test is >50% <u>3</u> - Prevalence Index is ≤3.0 ¹ <u>4</u> - Morphological Adaptations ¹ (Provide supporting data in Remarks or on a separate sheet) <u> </u> Problematic Hydrophytic Vegetation ¹ (Explain) ¹ Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic.																
2. <u>Fragaria virginiana</u>	<u>45</u>	<u>Yes</u>	<u>FACU</u>																	
3. <u>Podophyllum peltatum</u>	<u>5</u>	<u>No</u>	<u>FACU</u>																	
4. <u>Maianthemum canadense</u>	<u>5</u>	<u>No</u>	<u>FACU</u>																	
5. _____	_____	_____	_____																	
6. _____	_____	_____	_____																	
7. _____	_____	_____	_____																	
8. _____	_____	_____	_____																	
9. _____	_____	_____	_____																	
10. _____	_____	_____	_____																	
11. _____	_____	_____	_____																	
12. _____	_____	_____	_____																	
<u>155</u> =Total Cover																				
Woody Vine Stratum (Plot size: <u>30 SQ FT</u>)																				
1. <u>Parthenocissus quinquefolia</u>	<u>30</u>	<u>Yes</u>	<u>FACU</u>	Definitions of Vegetation Strata: Tree – Woody plants 3 in. (7.6 cm) or more in diameter at breast height (DBH), regardless of height. Sapling/shrub – Woody plants less than 3 in. DBH and greater than or equal to 3.28 ft (1 m) tall. Herb – All herbaceous (non-woody) plants, regardless of size, and woody plants less than 3.28 ft tall. Woody vines – All woody vines greater than 3.28 ft in height.																
2. _____	_____	_____	_____																	
3. _____	_____	_____	_____																	
4. _____	_____	_____	_____																	
<u>30</u> =Total Cover																				
Hydrophytic Vegetation Present? Yes <u> </u> No <u> X </u>																				

Remarks: (Include photo numbers here or on a separate sheet.)

SOIL

Sampling Point: UP1

[illegible]

AGENCY DISCLOSURE NOTIFICATION

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Authorities: Rivers and Harbors Act, Section 10, 33 USC 403; Clean Water Act, Section 404, 33 USC 1344; Marine Protection, Research, and Sanctuaries Act, Section 103, 33 USC 1413; Regulatory Programs of the Corps of Engineers; Final Rule 33 CFR 320-332. Principal Purpose: Information provided on this form will be used in evaluating the application for a permit. Routine Uses: This information may be shared with the Department of Justice and other federal, state, and local government agencies, and the public and may be made available as part of a public notice as required by Federal law. Submission of requested information is voluntary, however, if information is not provided the permit application cannot be evaluated nor can a permit be issued. One set of original drawings or good reproducible copies which show the location and character of the proposed activity must be attached to this application (see sample drawings and/or instructions) and be submitted to the District Engineer having jurisdiction over the location of the proposed activity. An application that is not completed in full will be returned. System of Record Notice (SORN). The information received is entered into our permit tracking database and a SORN has been completed (SORN #A1145b) and may be accessed at the following website: <http://dpcl.d.defense.gov/Privacy/SORNsIndex/DOD-wide-SORN-Article-View/Article/570115/a1145b-ce.aspx>

Appendix B

Number	Photograph	Caption
001		General view of Wetland Area #1
002		General view of Wetland Area #1

003	 A photograph showing a soil profile in a wetland area. The soil is dark, moist, and appears to be a mix of silt and clay. There are some roots visible in the soil, and some green vegetation is growing around the profile.	Soil profile in Wetland Area #1
004	 A photograph showing a general view of a county drain. The drain is a narrow, shallow channel filled with water, surrounded by dense green vegetation and trees. The view is facing northwest.	General view of the county drain, facing northwest

005		Inaccessible area south of the county drain
006		General view of Upland Area #1

007	 A photograph showing a dense forest of tall, thin trees with green foliage. The ground is covered with fallen leaves and branches, creating a natural, wooded environment.	General view of Upland Area #1
008	 A photograph showing a cross-section of the soil in a forest. The soil is dark brown and appears to be composed of organic matter and small rocks. Green plants are growing along the edges of the exposed soil profile.	Soil profile in Upland Area #1

DRAWING LOCATION: 11/24/2025 (with Residential Development - Paw Paw) - FINAL DRAWINGS C-D TITLE SHEET.dwg - LAST SAVED BY: RICHARDSON ON 1/29/2025

HERITAGE WOODS CONDOMINIUMS, ISSUED FOR SITE PLAN REVIEW, 1/02/25

SITE PLAN REVIEW

HERITAGE WOODS CONDOMINIUMS

PART OF PARCEL: 80-47-582-057-30
VILLAGE OF PAW PAW
VAN BUREN COUNTY, MI
1/29/25

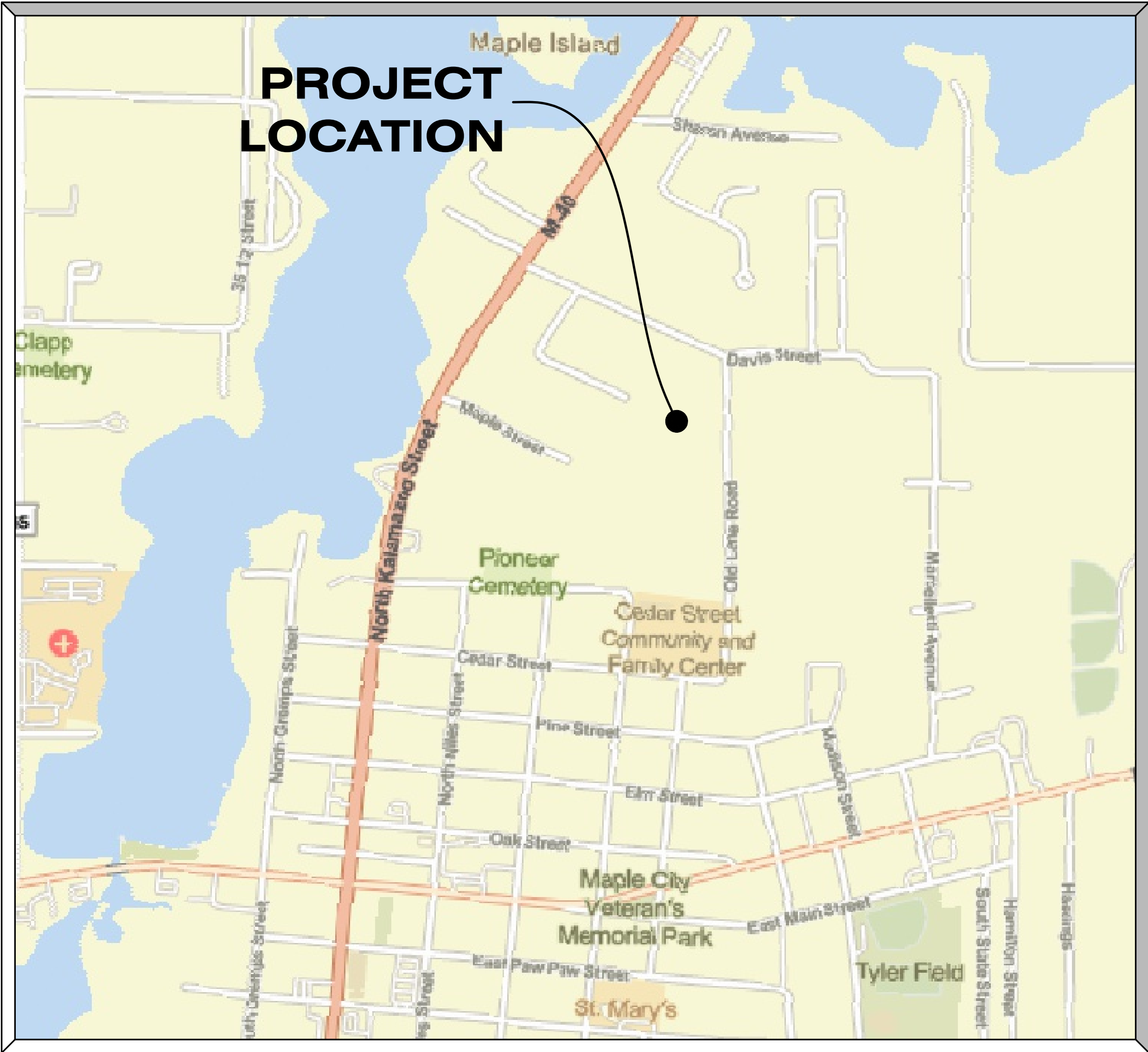
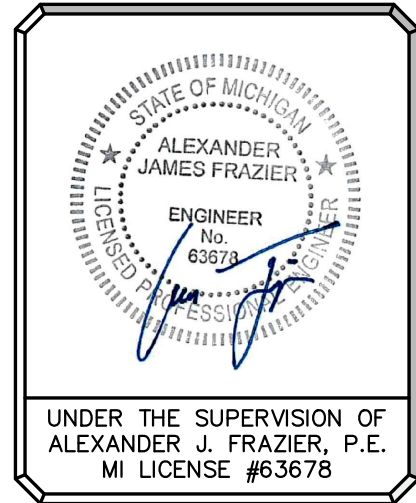
OWNER

PRIME HOMES - GREG WATTS
415 TREASURE ISLAND DR.
MATTAWAN, MI 49071

PLANS PREPARED BY:

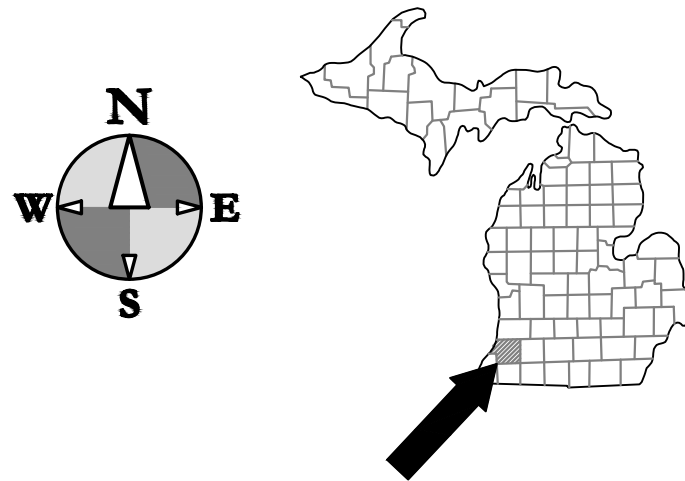


hurley & stewart, llc
2800 s. 11th street
kalamazoo, michigan 49009
269.552.4960 fax 269.552.4961
www.hurleystewart.com



SITE LOCATION MAP

SCALE: 1" = 500'



DRAWING INDEX

SHT #	DESCRIPTION
C-0	TITLE SHEET
C-1	EXISTING CONDITIONS & DEMOLITION PLAN
C-2	OVERALL LAYOUT PLAN
C-3	SITE LAYOUT PLAN
C-4	WATERMAIN & SANITARY PLAN
C-5	DRAINAGE & UTILITY PLAN
C-6	GRADING-SESC PLAN
C-7	BASIN GRADING-SESC PLAN
C-8	UTILITY DETAILS
C-9	SITE DETAILS
C-10	FLOOR PLAN EXHIBIT

PRELIMINARY
NOT FOR CONSTRUCTION



ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA.
FIELD WORK PERFORMED BY:
HURLEY & STEWART, LLC

ISSUED FOR:
SITE PLAN REVIEW
1/29/25

DRAWING LOCATION: H-124-082D (Mette Residential Development) - From Page 1 - FINAL DRAWINGS - C-1 EXISTING CONDITIONS & DEMOLITION PLAN SET - LAST SAVED BY: BERNIE ON 1/10/2025

REMOVAL NOTES

- REVIEW ALL THE REMOVALS AND PROTECTION WITH OWNER PRIOR TO COMMENCING CONSTRUCTION. INSTALL TEMPORARY SNOW FENCE AROUND ALL TREES REQUIRING PROTECTION. SNOW FENCE SHALL BE PLACED AT EDGE OF DRIP LINE.
- SAWCUT ALL CURB, SIDEWALK, AND PAVEMENTS PRIOR TO REMOVAL. ADDITIONAL SAWCUT MAY BE NECESSARY PRIOR TO REPLACEMENT TO ENSURE CLEAN EDGE.
- ALL REMOVALS SHALL BE TAKEN OFF-SITE AND DISPOSED OF. NO STOCKPILE OR BURNING OF DEBRIS IS ALLOWED.
- COMPLY WITH ALL ASPECTS OF THE SOIL EROSION CONTROL PERMIT AS ISSUED BY VAN BUREN COUNTY. ALL TEMPORARY CONTROL MEASURES SHALL BE IN PLACE PRIOR TO COMMENCING CONSTRUCTION.
- ALL REMOVALS SHALL BE TO THE LIMITS INDICATED ABOVE UNLESS OTHERWISE DIRECTED BY THE ENGINEER. UNAUTHORIZED REMOVALS AND SUBSEQUENT REPLACEMENT SHALL BE AT THE CONTRACTOR'S EXPENSE.
- REMOVE, STORE, AND RESET ANY EXISTING SIGNS AS DIRECTED BY THE ENGINEER/OWNER.
- REMOVE ALL TREES TO THE CLEARING LIMITS AS SHOWN. REMOVE ALL EXISTING TREES, STUMPS AND BRUSH FROM THE SITE AS NECESSARY TO CONSTRUCT THE IMPROVEMENTS.
- IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS BECOME APPARENT, THESE SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION OF ANYTHING AFFECTED SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
- FOR PROTECTION OF UNDERGROUND UTILITIES, THE CONTRACTOR SHALL CALL 1-800-482-7171 A MINIMUM OF THREE FULL WORKING DAYS EXCLUDING SATURDAYS, SUNDAYS AND HOLIDAYS PRIOR TO BEGINNING EACH EXCAVATION IN AREAS WHERE PUBLIC UTILITIES HAVE NOT BEEN PREVIOUSLY LOCATED. MEMBERS WILL NOT BE ROUTINELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING OWNERS WHO MAY NOT BE A PART OF THE "MISS DIG" ALERT SYSTEM.

LEGEND

BM #XX BENCH MARK

- | | | |
|--------------------------------|---|---------------------|
| ▲ CP # CONTROL POINT | □ SIGN POST | CONTOUR HIGHLIGHTED |
| ○ SANITARY MANHOLE | ○ FIRE HYDRANT | CONTOUR NORMAL |
| ○ WATER VALVE | ○ POWER LINE | OVERHEAD UTILITY |
| ○ WATER METER | ○ TRANSFORMER | COMMUNICATION |
| ○ HAND HOLE (ELECTRIC) | ○ ELECTRIC | FIBEROPTIC |
| ○ GUY WIRE | ○ GUY WIRE | GAS |
| ○ ELECTRIC METER | ○ ELECTRIC MANHOLE | SANITARY SEWER |
| ○ AIR CONDITIONER | ○ STORMWATER | TELEPHONE |
| ○ GAS METER | ○ TELEPHONE | WATER |
| ○ GAS VALVE | ○ TELEPHONE MANHOLE | WETLAND MARKER |
| ○ TELEPHONE MANHOLE | ○ SITE MISCELLANEOUS CLEARING AND GRUBBING, APPROX. 9.3 ACRES | UNKNOWN |
| ○ EXISTING BITUMINOUS PAVEMENT | ○ TREE LINE | FENCE |

0 25 50 100
1 inch = 50ft.



Know what's below.
Call before you dig.

EXISTING STRUCTURE DATA

- 4.0' CONCRETE SAN MH
RIM = 727.88'
INV. 12" NW CONCRETE = 720.23'
INV. 15" SE CONCRETE = 720.18'
- 4.0' CONCRETE SAN MH
RIM = 730.73'
INV. 15" NW PVC = 720.63'
INV. 15" SE PVC = 720.63'
- 4.0' CONCRETE SAN MH
RIM = 732.06'
INV. 6" SE PVC = 728.16'
INV. 15" E CONCRETE = 721.06'
INV. 15" NW CONCRETE = 721.01'
- 4.0' CONCRETE SAN MH
RIM = 736.71'
INV. 6" SE CLAY = 728.36'
INV. 8" NE PVC = 723.06'
INV. 12" W CONCRETE = 721.46'
INV. 12" E CONCRETE = 751.51'
- SAN MH
RIM = 727.62'
- 4.0' CONCRETE SAN MH
RIM = 728.37'
INV. 8" W CLAY = 722.72'
INV. 8" E CLAY = 722.72'
- 4.0' CONCRETE SAN MH
RIM = 726.50'
INV. 4" SW PVC = 720.85'
INV. 8" SW CLAY = 719.50'

SURVEY CONTROL

CP 1 N = 268213.78 E = 12712646.51 EL = 732.87'
CP 2 N = 268382.53 E = 12712219.39 EL = 729.36'
CP 3 N = 268309.10 E = 12712448.15 EL = 731.05'
CP 4 N = 268014.69 E = 12712233.78 EL = 729.44'
CP 5 N = 267973.92 E = 12712070.85 EL = 729.75'
CP 6 N = 267695.04 E = 12712193.09 EL = 728.47'
CP 7 N = 267559.88 E = 12711899.23 EL = 724.70'
CP 8 N = 267350.57 E = 12711808.61 EL = 721.57'

BENCHMARKS

ELEVATIONS OF THIS SURVEY ARE BASED ON NAVD 88 AS DERIVED FROM GPS

- BM 1 EL = 730.36'
RAILROAD SPIKE IN SOUTHWEST FACE OF UTILITY POLE ON THE NORTH SIDE OF DAVIS ST 390'± NORTHWEST OF THE DAVIS ST AND OLD LANE RD INTERSECTION.
- BM 2 EL = 730.79'
CUT X IN SOUTHEAST BURY BOLT OF HYDRANT ON THE SOUTH SIDE OF DAVIS ST 424'± NORTHWEST OF THE DAVIS ST AND OLD LANE RD INTERSECTION.
- BM 3 EL = 733.55'
CUT X IN SOUTHEAST BURY BOLT OF HYDRANT ON THE SOUTH SIDE OF DAVIS ST 98'± NORTHWEST OF THE DAVIS ST AND OLD LANE RD INTERSECTION.
- BM 4 EL = 731.34'
CUT X IN NORTHWEST BOLT OF HYDRANT AT THE EAST END OF BIRCH LN.
- BM 5 EL = 726.29'
CUT X IN SOUTHEAST BOLT ON HYDRANT AT THE EAST END OF MAPLE ST.

LEGAL DESCRIPTION PROVIDED BY CLIENT CERTIFIED SURVEY

ROOSIEN & ASSOCIATES PROJECT NO. 230809 DATED 1/31/24

PARCEL D:

A PARCEL OF LAND SITUATED IN THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 12, TOWNSHIP 3 SOUTH, RANGE 12 WEST, VILLAGE OF PAW PAW, STATE OF MICHIGAN DESCRIBED AS: COMMENCING AT THE EAST 1/4 CORNER OF SAID SECTION; THENCE N88°20'37"W 1334.49 FEET ALONG THE EAST-WEST 1/4 LINE TO THE SOUTHEAST CORNER OF THE CEMETERY, SAID POINT OF BEING S88°20'37"E 344.99 FEET FROM THE SOUTHEAST CORNER OF LOT 8 ASSESSORS PLAT OF BLOCK 63 VILLAGE OF PAW PAW; THENCE N01°28'12"E 418.60 FEET ALONG THE EAST LINE OF THE CEMETERY TO THE POINT OF BEGINNING; THENCE N35°14'35"E 901.40 FEET ALONG THE EASTERLY LINE OF MAPLE STREET SUBDIVISION, AND ITS SOUTHERLY EXTENSION; THENCE S65°44'33"E 497.34 FEET; THENCE S00°16'46"E 318.93 FEET ALONG THE EAST LINE OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION; THENCE N88°20'37"W 397.00 FEET ALONG THE NORTH LINE OF THE SOUTH 660 FEET OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION; THENCE S00°16'46"E 241.17 FEET ALONG THE WEST LINE OF THE EAST 397 FEET OF THE SOUTHWEST 1/4, OF THE NORTHEAST 1/4 OF SAID SECTION; THENCE N88°20'37"W 579.71 FEET TO THE POINT OF BEGINNING, SUBJECT TO ROAD RIGHT-OF-WAY OVER THE EASTERLY 33 FEET FOR OLD LANE ROAD.

PARCEL G:

A PARCEL OF LAND SITUATED IN THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 12, TOWNSHIP 3 SOUTH, RANGE 12 WEST, VILLAGE OF PAW PAW, STATE OF MICHIGAN DESCRIBED AS: COMMENCING AT THE EAST 1/4 CORNER OF SAID SECTION; THENCE N88°20'37"W 1334.49 FEET ALONG THE EAST-WEST 1/4 LINE TO THE SOUTHEAST CORNER OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION, SAID POINT BEING S88°20'37"E 1334.49 FEET FROM THE SOUTHEAST CORNER OF LOT 8 ASSESSORS PLAT OF BLOCK 63 VILLAGE OF PAW PAW; THENCE N00°16'46"W 978.93 FEET ALONG THE EAST LINE OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION TO THE POINT OF BEGINNING; THENCE N65°44'33"W 307.27 FEET; THENCE N35°14'35"E 315.26 FEET; THENCE S65°38'28"E 106.00 FEET ALONG THE CENTERLINE OF DAVIS STREET; THENCE S00°16'46"E 340.00 FEET ALONG THE EAST LINE OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION TO THE POINT OF BEGINNING, SUBJECT TO ROAD RIGHT-OF-WAY OVER THE EASTERLY 33 FEET FOR OLD LANE ROAD, AND OVER THE NORTHERLY 30 FEET FOR DAVIS STREET.

PARCEL H:

A PARCEL OF LAND SITUATED IN THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 12, TOWNSHIP 3 SOUTH, RANGE 12 WEST, VILLAGE OF PAW PAW, STATE OF MICHIGAN DESCRIBED AS: COMMENCING AT THE EAST 1/4 CORNER OF SAID SECTION; THENCE N88°20'37"W 1334.49 FEET ALONG THE EAST-WEST 1/4 LINE TO THE SOUTHEAST CORNER OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION, SAID POINT BEING S88°20'37"E 1334.49 FEET FROM THE SOUTHEAST CORNER OF LOT 8 ASSESSORS PLAT OF BLOCK 63 VILLAGE OF PAW PAW; THENCE N00°16'46"W 1318.93 FEET ALONG THE EAST LINE OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION TO THE NORTHEAST CORNER OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4; THENCE N65°38'28"W 106.00 FEET ALONG THE CENTERLINE OF DAVIS STREET TO THE POINT OF BEGINNING; THENCE CONTINUING N65°38'28"W 95.00 FEET ALONG SAID CENTERLINE; THENCE S35°14'35"W 315.43 FEET; THENCE S65°44'33"E 95.03 FEET; THENCE N35°14'35"E 315.26 FEET TO THE POINT OF BEGINNING. SUBJECT TO ROAD RIGHT-OF-WAY OVER THE NORTHERLY 30 FEET FOR DAVIS STREET.

PARCEL I:

A PARCEL OF LAND SITUATED IN THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 12, TOWNSHIP 3 SOUTH, RANGE 12 WEST, VILLAGE OF PAW PAW, STATE OF MICHIGAN DESCRIBED AS: COMMENCING AT THE EAST 1/4 CORNER OF SAID SECTION; THENCE N88°20'37"W 1334.49 FEET ALONG THE EAST-WEST 1/4 LINE TO THE SOUTHEAST CORNER OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION, SAID POINT BEING S88°20'37"E 1334.49 FEET FROM THE SOUTHEAST CORNER OF LOT 8 ASSESSORS PLAT OF BLOCK 63 VILLAGE OF PAW PAW; THENCE N00°16'46"W 1318.93 FEET ALONG THE EAST LINE OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION TO THE NORTHEAST CORNER OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4; THENCE N65°38'28"W 201.00 FEET ALONG THE CENTERLINE OF DAVIS STREET TO THE POINT OF BEGINNING; THENCE CONTINUING N65°38'28"W 95.00 FEET ALONG SAID CENTERLINE; THENCE S35°14'35"W 315.60 FEET ALONG THE EAST LINE OF MAPLE STREET SUBDIVISION; THENCE S65°44'33"E 95.03 FEET ALONG SAID CENTERLINE; THENCE N35°14'35"E 315.43 FEET TO THE POINT OF BEGINNING. SUBJECT TO ROAD RIGHT-OF-WAY OVER THE NORTHERLY 30 FEET FOR DAVIS STREET.

SURVEYOR'S NOTES

- BASIS OF BEARINGS: MICHIGAN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, NAD 83
- CONTOUR INTERVAL = 1 FOOT
- UTILITIES SHOWN ARE BASED ON FIELD LOCATION OF SURFACE EVIDENCE AND RECORDS PROVIDED BY OTHERS. UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE. ADDITIONAL UTILITIES MAY BE ENCOUNTERED. PRIOR TO ANY EXCAVATION THE CONTRACTOR SHALL CALL MISS DIG AT 1-800-482-7171.
- BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY, THE LAND DEPICTED IN THIS SURVEY LIES IN ZONE X. MAP 26159C0335C, EFFECTIVE DATE 12/03/2010.
- TITLE WORK WAS NOT PROVIDED AT THE TIME OF SURVEY. NO EASEMENTS ARE SHOWN OR HAVE BEEN RESEARCHED.
- THIS IS NOT A BOUNDARY SURVEY. PROPERTY LINES SHOWN PER SURVEY BY ROOSIEN & ASSOCIATES PROJECT NO. 230809 DATED 1/31/24.
- LIMITS OF WETLANDS ARE SHOWN PER COORDINATE FILE PROVIDED BY MCE. H&S LOCATED SEVERAL FLAGS AND THEY ARE SHOWN ON THE MAP.

ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA.

FIELD WORK PERFORMED BY:
HURLEY & STEWART, LLC

Sheet Title: EXISTING CONDITIONS & DEMOLITION PLAN
Project: HERITAGE WOODS CONDOMINIUMS
Client: GREG WATTS / PRIME HOMES

1/29/25
Sheet

C-1

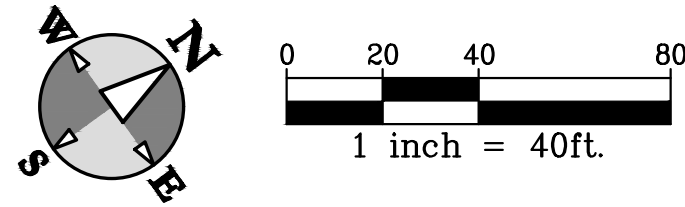
hurley & stewart, llc
2800 s. 11th street
kalamazoo, michigan 49009
269.552.4960 fax 269.552.4961
www.hurleystewart.com

hurley & stewart

Job No. 24-082D P.M.-AUF Dtd: BTD 04/04/25
ISSUED FOR REVISIONS:
1 SITE PLAN REVIEW 1/02/25
2 SITE PLAN REVIEW COMMENT REVISIONS 1/29/25
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1/29/25
Sheet
C-2

Planting Schedule Trees					
Symbol	Latin Name	Common Name	Size	Container Type	Comments
Pp	Picea pungens 'Glauca'	Colorado Blue Spruce	6' Ht.	B&B	



GENERAL NOTES

- ALL DIMENSIONS SHOWN ARE TO THE EDGE OF METAL.
- PROVIDE CURB CUTS/RAMPS AT ALL BARRIER FREE ACCESS POINTS.
- PAVEMENT MARKINGS AND SIGNAGE SHALL CONFORM TO THE CURRENT MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND MICHIGAN BARRIER FREE CODE.
- MATCH EXISTING CURB & GUTTER SECTIONS WHEN CONNECTING TO THEM. CONDITIONS VARY THROUGHOUT PROJECT.
- EXCEPT WHERE OTHERWISE INDICATED ON THESE PLANS, ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, AND VILLAGE OF PAW PAW STANDARDS SPECIFICATIONS.
- ALL WORK SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL LAWS, RULES AND REGULATIONS IN FORCE AT THE TIME OF CONSTRUCTION.
- ALL EXTERIOR CONCRETE SHALL BE MDOT GRADE P1 (3500PSI), AIR ENTRAINED, LIMESTONE AGGREGATE, BROOM FINISHED, CURING SEAL.
- THE CONTRACTOR SHALL LOCATE ALL ACTIVE UNDERGROUND UTILITIES PRIOR TO STARTING WORK AND SHALL CONDUCT HIS OPERATIONS IN A MANNER AS TO ENSURE THAT THOSE UTILITIES NOT REQUIRING RELOCATION WILL NOT BE DISTURBED.
- ALL REQUIRED FILL FOR THIS PROJECT SHALL BE SELECTED EXCAVATED MATERIAL FROM THE SITE APPROVED BY THE ENGINEER OR CLASS II GRANULAR MATERIAL FROM BORROW AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- FOR PROTECTION OF UNDERGROUND UTILITIES, THE CONTRACTOR SHALL CALL 1-800-482-7171 A MINIMUM OF THREE FULL WORKING DAYS EXCLUDING SATURDAYS, SUNDAYS AND HOLIDAYS PRIOR TO BEGINNING EACH EXCAVATION IN AREAS WHERE PUBLIC UTILITIES HAVE NOT BEEN PREVIOUSLY LOCATED. MEMBERS WILL THIS BE ROUTINELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING OWNERS WHO MAY NOT BE A PART OF THE "MISS DIG" ALERT SYSTEM.
- ANY BITUMINOUS OR CONCRETE PAVEMENT, SANITARY SEWER, SANITARY SEWER SERVICE LEADS, OR STORM SEWER, WHICH IS DAMAGED BY THE CONTRACTOR DURING HIS OPERATIONS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AND AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL INSTALL PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT AS REQUIRED.
- ALL UNSUITABLE SUBBASE MATERIAL MUST BE REMOVED TO A MINIMUM DEPTH OF 24" BELOW THE TOP OF THE SUBGRADE OR AS DETERMINED BY THE COUNTY ENGINEER.
- IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS BECOME APPARENT, THESE SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION OF ANYTHING AFFECTED SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.

LANDSCAPE NOTES:

- ALL LAWN AREAS SHALL BE SEEDED AND MULCHED WITH THE FOLLOWING MIXTURE: 20% IMPROVED PERENNIAL RYEGRASS, 40% FINE FESCUE, AND 40% KENTUCKY BLUEGRASS AT A RATE OF 8-10 LBS/ 1000 SFT. PROVIDE 19-19-19 STARTER FERTILIZER AT A RATE OF 5-7 LBS/1000 SFT.
- PROVIDE QUALITY, SIZE, GENUS, SPECIES, AND VARIETY OF EXTERIOR PLANTS INDICATED, COMPLYING WITH APPLICABLE REQUIREMENTS IN ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK." MEASURE ACCORDING TO ANSI Z60.1 STANDARDS.
- WARRANT TREES FOR ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM INCIDENTS THAT ARE BEYOND CONTRACTOR'S CONTROL.
- REMOVE AND REPLACE DEAD PLANTS IMMEDIATELY. REPLACE PLANTS THAT ARE MORE THAN 25% DEAD OR IN AN UNHEALTHY CONDITION AT END OF WARRANTY PERIOD. A LIMIT OF ONE REPLACEMENT OF EACH PLANT WILL BE REQUIRED, EXCEPT FOR LOSSES OR REPLACEMENTS DUE TO FAILURE TO COMPLY WITH REQUIREMENTS.
- MAINTAIN TREES FOR ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION BY PRUNING, CULTIVATING, WATERING, WEEDING, FERTILIZING, RESTORING PLANTING SAUCERS, TIGHTENING AND REPAIRING STAKES AND GUY SUPPORTS, AND RESETTling TO PROPER GRADES OR VERTICAL POSITION, AS REQUIRED TO ESTABLISH HEALTHY Viable PLANTINGS. SPRAY AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE.
- BEGIN LAWN MAINTENANCE IMMEDIATELY AFTER EACH AREA IS PLANTED AND CONTINUE UNTIL ACCEPTABLE LAWN IS ESTABLISHED: A MINIMUM OF 60 DAYS AFTER SUBSTANTIAL COMPLETION.
- MAINTAIN AND ESTABLISH LAWN BY WATERING, FERTILIZING, WEEDING, USING CHEMICAL TREATMENT TO ELIMINATE BROADLEAF AND NOXIOUS WEEDS, MOWING, TRIMMING, REPLANTING, AND OTHER OPERATIONS. ROLL, REGRADE, AND REPLANT BARE OR ERODED AREAS AND REMULCH TO PRODUCE A UNIFORMLY SMOOTH LAWN.
- PROTECT ADJACENT AND ADJOINING STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND PLANTINGS FROM HYDROSEEDING OVER-SPRAY AND DAMAGE CAUSED BY PLANTING OPERATIONS.
- REMOVE STONES LARGER THAN 1" IN ANY DIMENSION AND REMOVE STICKS, ROOTS, RUBBISH, AND OTHER EXTRANEIOUS MATTER FROM SITE.
- MAINTAIN LAWN UNTIL A HEALTHY, UNIFORM, CLOSE STAND OF GRASS HAS BEEN ESTABLISHED, FREE OF WEEDS AND SURFACE IRREGULARITIES, WITH COVERAGE EXCEEDING 90% OVER ANY 10 SQFT AND BARE SPOTS DO NOT EXCEED 5 BY 5 INCHES.

SITE LAYOUT PLAN
HERITAGE WOODS CONDOMINIUMS
GREG WATTS / PRIME HOMES

Sheet Title:
Project:
Client:

1/29/25

Sheet

C-3

hurley & stewart, llc
2800 s. 11th street
kalamazoo, michigan 49009
269.552.4960 fax 269.552.4961
www.hurleystewart.com



Job No. 24-082D P.M. AJP Drt: BTD QA/QC: 1/29/25
ISSUED FOR REVISIONS:
1 SITE PLAN REVIEW 1/02/25
2 SITE PLAN REVIEW COMMENT REVISIONS 1/29/25
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Know what's below.
Call before you dig.

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FIELD WORK PERFORMED BY:
HURLEY & STEWART, LLC

LANDSCAPE LEGEND

- NUMBER AND TYPE OF PLANTS TO BE PROVIDED AND INSTALLED.
- MAINTAINED SEEDED LAWN
- UNMAINTAINED SEEDED LAWN
- PROPOSED EVERGREEN TREE

CONIFEROUS TREE

NOT TO SCALE

NOTE:
STAKING OF BALL AND BURLAP TREES REQUIRED AT THE DISCRETION OF THE CONTRACTOR. CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL STAKING AT END OF ONE YEAR WARRANTY PERIOD.

REMOVE ANY TAGS OR PACKAGING FROM TREE BRANCHES AND TRUNK.

PLANT TREE SO TOP OF ROOT BALL IS LEVEL WITH EXISTING GRADE AND TRUNK FLARE IS VISIBLE.

3" HARDWOOD MULCH. LEAVE 3" RING UNMULCHED AT TREE BASE.

BACKFILL WITH NATIVE SOIL. USE WATER TO SETTLE OUT VOIDS IN BACKFILLED SOIL.

SCARIFY EDGES OF PLANTING HOLE PRIOR TO BACKFILLING.

PLACE ROOT BALL ON UNDISTURBED SOIL.

DIG HOLE 2 TIMES THE WIDTH OF ROOT BALL.

PRUNE ANY BROKEN, DEAD, CO-DOMINANT LEADERS, OR CROSSED OVER BRANCHES. DO NOT CUT TERMINAL LEADER.

CUT AND REMOVE ALL WRAPPING INCLUDING TWINE, BURLAP AND WIRE CAGES FROM TOP ONE THIRD OF ROOT BALL.
CREATE WATERING DISH WITH MULCH RING AT EDGE OF PLANTING HOLE.

SEE LANDSCAPE NOTES FOR SEEDING REQUIREMENTS (TYP.)

SEE LANDSCAPE NOTES FOR SEEDING REQUIREMENTS (TYP.)

SITE LEGEND

- HMA PAVEMENT
- HMA BIT VALLEY CURB (SEE DETAIL)
- CONCRETE WALK
- CONCRETE SURFACE
- DETENTION BASIN

LEGEND

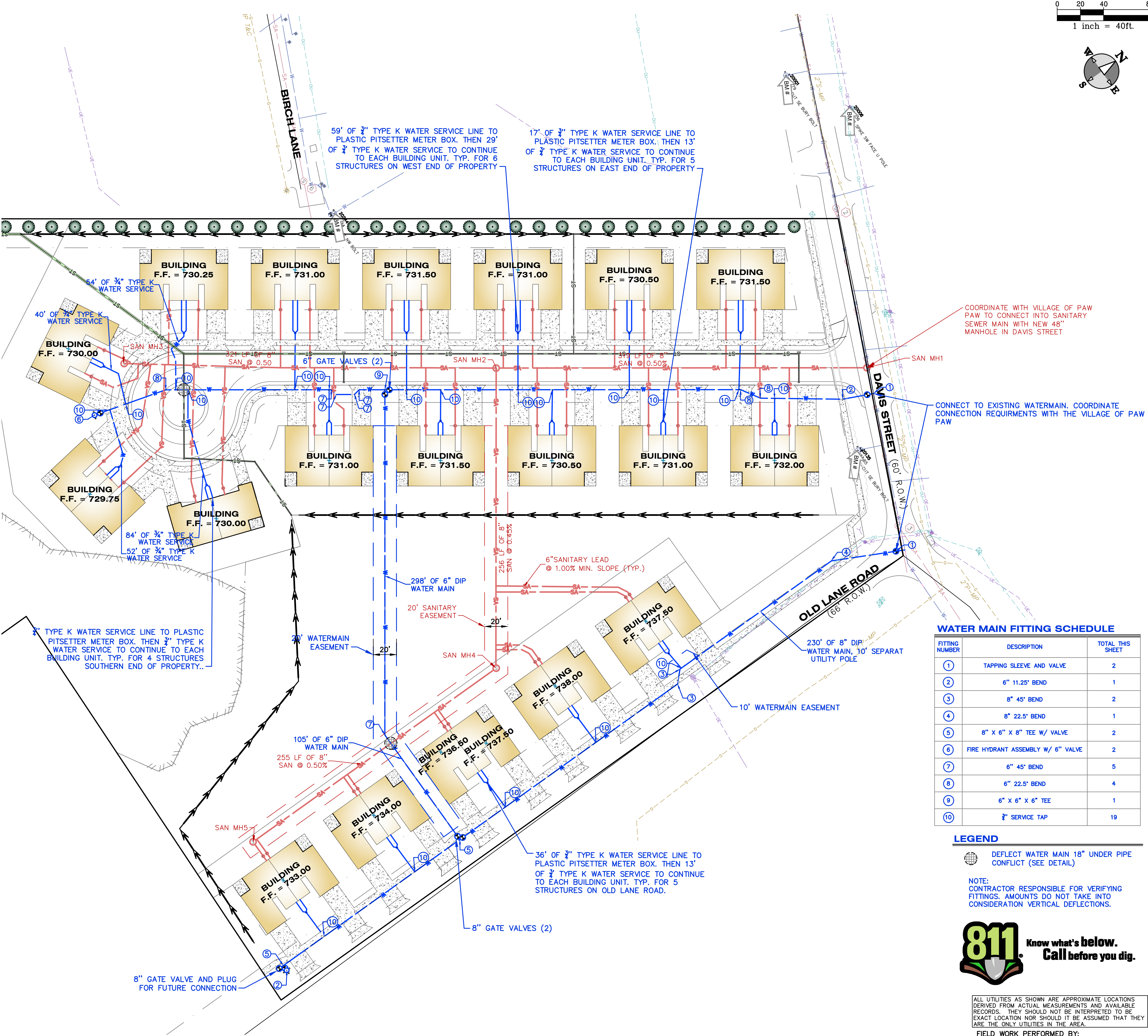
- BITUMINOUS PAVEMENT PER VILLAGE OF PAW PAW ROW PAVEMENT SECTION (SEE DETAIL)
- CONCRETE PAVEMENT AND SIDEWALK
- PROPOSED BUILDING
- DELINEATED WETLAND
- BIT VALLEY CURB
- SWALE

DRAWING LOCATION: H:\24-082D (Mette Residential Development) - Proj Paw Paw Final Drawings\C-4 UTILITY PLAN.dwg LAST SAVED BY: RICHARDSON ON 1/29/2025

UTILITY NOTES

1. FOR PROTECTION OF UNDERGROUND UTILITIES, THE CONTRACTOR SHALL CALL 1-800-482-7171 A MINIMUM OF THREE FULL WORKING DAYS EXCLUDING SATURDAYS, SUNDAYS AND HOLIDAYS PRIOR TO BEGINNING EACH EXCAVATION IN AREAS WHERE PUBLIC UTILITIES HAVE NOT BEEN PREVIOUSLY LOCATED. MEMBERS WILL THUS BE ROUTINELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING OWNERS WHO MAY NOT BE A PART OF THE "MISS DIG" ALERT SYSTEM.
2. ALL MATERIAL AND CONSTRUCTION WILL BE IN ACCORDANCE WITH THE MOST RECENT CONSTRUCTION STANDARDS AND SPECIFICATIONS OF THE STATE OF MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT). MDOT SPECIFICATIONS ARE SUBJECT TO THE CURRENT ADDENDA. IN ADDITION, ALL WORK WILL BE IN COMPLIANCE WITH ALL APPLICABLE FEDERAL AND STATE STANDARDS AND REGULATIONS.
3. PLACE SANITARY CLEANOUT EVERY 100' AND/OR AT BENDS ON ALL 6" SANITARY SEWER LEADS.
4. ALL BEDDING MATERIAL TYPES ARE TO BE PER MDOT SPEC. 402.03.
5. DEWATERING MAY BE REQUIRED TO INSTALL OR REMOVE SOME UTILITIES. REFER TO SPECIFICATIONS FOR SPECIFIC REQUIREMENTS. REFER TO GEOTECHNICAL REPORT FOR MORE INFORMATION.
6. ALL STRUCTURE CASTINGS TO BE EAST JORDAN IRON WORKS OR APPROVED EQUAL. SEE STRUCTURE TABLE FOR SPECIFIC CASTING AT EACH STRUCTURE.
7. VERIFY LOCATION AND ELEVATION OF EXISTING SANITARY LEAD PRIOR TO ORDERING STRUCTURES AND CONSTRUCTION.
8. ALL WATER MAIN INSTALLED IN GROUNDWATER SHALL BE WRAPPED WITH POLYETHYLENE.
9. PROVIDE 18" WATER MAIN SEPARATION WHEN CROSSING OTHER UTILITIES. DEFLECT UNDER OTHER UTILITIES W/O USING FITTINGS WHENEVER POSSIBLE. SEE WATER MAIN PROFILE SHEET.
10. VERIFY NUMBER OF FITTINGS PRIOR TO ORDERING. TOTALS DO NOT INCLUDE VERTICAL DEFLECTIONS THAT MAY BE NEEDED.
11. THE CONTRACTOR SHALL INSTALL PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT AS REQUIRED.
12. CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT FOR GROUNDWATER AND SOILS INFORMATION. ANY UTILITIES REQUIRING DEWATERING SHALL BE INSTALLED TO THE TOWNSHIP OF PAW PAW STANDARDS AND INCLUDED IN THE INSTALLATION COSTS. CONTRACTOR IS RESPONSIBLE FOR ALL DEWATERING NECESSARY TO CONSTRUCT UTILITIES IN THE DRY.
13. CONTRACTOR TO COORDINATE PRIVATE UTILITY CONNECTIONS WITH UTILITY COMPANIES.
14. SITE CONTRACTOR RESPONSIBLE FOR INSTALLATION OF ALL UTILITIES TO 5' FROM BUILDING WALL.
15. COORDINATE ALL UTILITY LOCATIONS AND ELEVATIONS WITH MECHANICAL DRAWINGS AND BUILDING CONTRACTOR PRIOR TO INSTALLATION.
16. SANITARY SEWER MATERIALS AND INSTALLATION SHALL COMPLY WITH THE VILLAGE OF PAW PAW REQUIREMENTS, COORDINATE WORK AND INSPECTIONS WITH THE VILLAGE OF PAW PAW.
17. WATER SUPPLY MATERIALS AND INSTALLATION SHALL COMPLY WITH THE VILLAGE OF PAW PAW UTILITIES REQUIREMENTS AND SPECIFICATIONS. COORDINATE CONNECTIONS WITH THE VILLAGE OF PAW PAW.
18. SEE SITE ELECTRICAL PLAN FOR LOCATION OF ALL ELECTRICAL SLEEVES AND CONDUIT.
19. UNDERGROUND ELECTRICAL SHALL BE PROVIDED TO THE SITE LIGHT POLES.
20. REMOVE SEDIMENT FROM ALL STRUCTURES ONCE PAVING IS COMPLETE AND REMOVE SILT SACKS.
21. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS BECOME APPARENT, THESE SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION OF ANYTHING AFFECTED SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.

SANITARY SEWER STRUCTURE SCHEDULE					
STR. #	RIM EL.	DIAM.	CASTING	PIPES IN:	PIPES OUT
SAN MH1	731.56	4'	1040A	8" E: 720.40	8" SW: 720.40 8" W: 720.40
SAN MH2	729.96	4'	1040A	8" NE: 722.00	8" SE: 722.00 8" SW: 722.00
SAN MH3	729.73	4'	1040A	8" NE: 723.60	
SAN MH4	734.00	4'	1040A	8" NW: 723.29	8" S: 723.29
SAN MH5	730.80	4'	1040A	8" N: 724.58	6" E: 725.76



WATER MAIN FITTING SCHEDULE		
FITTING NUMBER	DESCRIPTION	TOTAL THIS SHEET
1	TAPPING SLEEVE AND VALVE	2
2	6" 11.25' BEND	1
3	8" 45' BEND	2
4	8" 22.5' BEND	1
5	8" X 6" X 8" TEE W/ VALVE	2
6	FIRE HYDRANT ASSEMBLY W/ 6" VALVE	2
7	6" 45' BEND	5
8	6" 22.5' BEND	4
9	6" X 6" X 6" TEE	1
10	3/4" SERVICE TAP	19

- LEGEND**
- DEFLECT WATER MAIN 18" UNDER PIPE CONFLICT (SEE DETAIL)
 - NOTE: CONTRACTOR RESPONSIBLE FOR VERIFYING FITTINGS. AMOUNTS DO NOT TAKE INTO CONSIDERATION VERTICAL DEFLECTIONS.



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FIELD WORK PERFORMED BY:
HURLEY & STEWART, LLC

hurley & stewart, llc
2800 s. 11th street
kalamazoo, michigan 49009
269.552.4960 fax 269.552.4961
www.hurleystewart.com

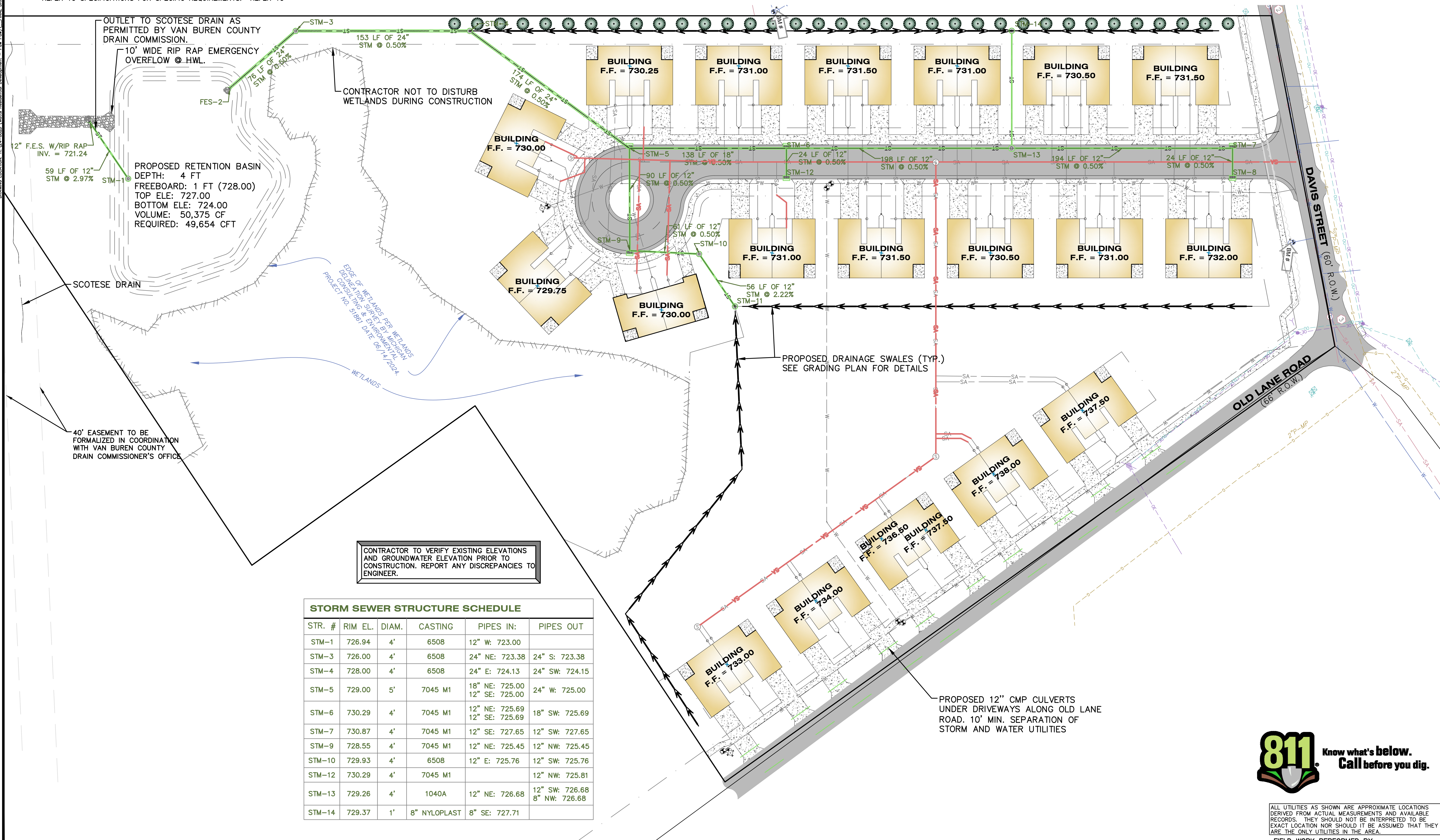
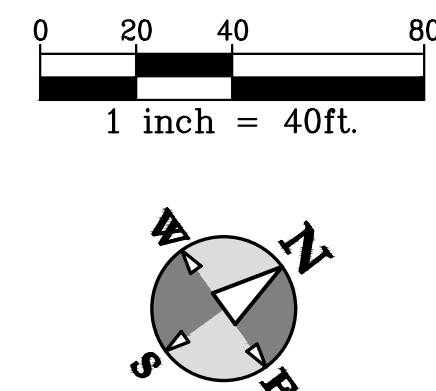
ISSUED FOR/REVISIONS:		
1	SITE PLAN REVIEW	1/02/25
2	SITE PLAN REVIEW COMMENT REVISIONS	1/29/25

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WATERMAIN & SANITARY PLAN
HERITAGE WOODS CONDOMINIUMS
GREG WATTS / PRIME HOMES

Sheet Title:
Project:
Client:

- DEWATERING SHALL BE INSTALLED TO THE TOWNSHIP OF PAW PAW STANDARDS AND INCLUDED IN THE INSTALLATION COSTS. CONTRACTOR IS RESPONSIBLE FOR ALL DEWATERING NECESSARY TO CONSTRUCT UTILITIES IN THE DRY.
- SITE CONTRACTOR RESPONSIBLE FOR INSTALLATION OF ALL UTILITIES TO 5' FROM BUILDING WALL.
- COORDINATE ALL UTILITY LOCATIONS AND ELEVATIONS WITH MECHANICAL DRAWINGS AND BUILDING CONTRACTOR PRIOR TO INSTALLATION.
- REMOVE SEDIMENT FROM ALL STRUCTURES ONCE PAVING IS COMPLETE AND REMOVE SILT SACKS.
- IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS BECOME APPARENT, THESE SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION OF ANYTHING AFFECTED SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.



811 Know what's below.
Call before you dig.

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FIELD WORK PERFORMED BY:
HURLEY & STEWART, LLC

DRAINAGE & UTILITY PLAN
HERITAGE WOODS CONDOMINIUMS
GREG WATTS / PRIME HOMES

Sheet Title:
Project:
Client:

1/29/25
Sheet
C-5

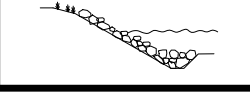
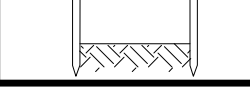
hurley & stewart, llc
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Job No.: 24-082D	P.M.:AJF	Drt: BTD	QA/QC: 1/29/25
ISSUED FOR/REVISIONS:			
1	SITE PLAN REVIEW		1/02/25
2	SITE PLAN REVIEW COMMENT REVISIONS		1/29/25

GRADING & SESC NOTES

1. ALL WORK WILL COMPLY WITH THE PROVISIONS OF THE SOIL EROSION AND SEDIMENTATION CONTROL ACT (PA 451, PART 91 OF 1994 AS AMENDED) ADMINISTERED BY VAN BUREN COUNTY.
2. FOR INSTALLATION SPECIFICATIONS FOR SOIL EROSION AND SEDIMENTATION CONTROL (SESC) MEASURES, REFER TO THE STATE OF MICHIGAN DEPARTMENT OF TECHNOLOGY, MANAGEMENT, AND BUDGET (DTMB) SESC MANUAL.
3. AVOID UNNECESSARY DISTURBING OR REMOVING EXISTING VEGETATED TOPSOIL OR EARTH COVER. THESE AREAS ACT AS SEDIMENT FILTERS.
4. ALL TEMPORARY SOIL EROSION PROTECTION SHALL REMAIN IN PLACE UNTIL REMOVAL IS REQUIRED FOR FINAL CLEANUP AND APPROVAL.
5. ALL SOIL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO COMMENCING CONSTRUCTION.
6. ALL SOIL PILES SHALL BE SURROUNDED BY SILT FENCE IF ALLOWED TO REMAIN IN PLACE FOR MORE THAN 7 DAYS. TOPSOIL PILES SHALL BE SEEDED IF ALLOWED TO REMAIN IN PLACE FOR MORE THAN 20 DAYS. SPOIL PILES SHALL NOT BE PLACED WITHIN 50' FROM ANY TEMPORARY OR PERMANENT WATERCOURSE.
7. PROVIDE SILT SACKS IN EACH CATCH BASIN UNTIL SITE IS STABILIZED.
8. SEE LANDSCAPING PLAN FOR FINAL SLOPE TREATMENTS.
9. PLACE TOPSOIL AND SEED ACCORDING TO THE LANDSCAPE PLANS AS SOON AS AREAS ARE BROUGHT TO GRADE.
10. WATER SITE WHEN NECESSARY TO PREVENT AIR BORNE SEDIMENT TRANSFER.
11. STRAW MULCH BLANKETS SHALL BE USED ON 3:1 SLOPES OR GREATER. ALL SLOPES ON SITE SHALL BE 4:1 OR LESS, UNLESS OTHERWISE DIRECTED BY ENGINEER.
12. MATCH EXISTING GRADES AROUND PERIMETER WITH SLOPES AS SHOWN. MATCH AT 1 ON 6 IF NOT LABELED.
13. THE CONTRACTOR SHALL INSTALL PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT AS REQUIRED.
14. ALL EXISTING ELEVATIONS ARE TO BE VERIFIED AND ACCEPTED AS SHOWN PRIOR TO COMMENCEMENT OF WORK.
15. REMOVE AND REPLACE WITH CONTROLLED FILL ANY AREAS THAT HAVE BEEN SOFTENED BY RAINS, FREEZING, CONSTRUCTION EQUIPMENT, ETC.
16. ALL REQUIRED FILL FOR THIS PROJECT SHALL BE SELECTED EXCAVATED MATERIAL FROM THE SITE APPROVED BY THE ENGINEER OR CLASS II GRANULAR MATERIAL FROM BORROW AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
17. ALL GRANULAR FILL UNDER THE INFLUENCE OF THE ROADWAY AND PROCESSED ROAD GRAVEL SHALL BE COMPACTED TO 95% MODIFIED PROCTOR DENSITY.
18. ALL COMPACTION SHALL BE ACCOMPLISHED BY PLACING THE FILL IN 12" LOOSE LIFTS AND MECHANICALLY COMPACTING EACH LIFT TO AT LEAST THE SPECIFIED MINIMUM DRY DENSITY. FIELD DENSITY TESTS SHOULD BE PERFORMED ON EACH LIFT AS NECESSARY TO ENSURE THAT ADEQUATE MOISTURE CONDITIONS AND COMPACTION ARE BEING ACHIEVED.
19. SITE CONTRACTOR SHALL REMOVE AND STOCKPILE ALL TOPSOIL AND BLACK ORGANIC SOILS ON-SITE TO BE USED IN THE REGRADING OF LANDSCAPE AREAS. THIS MATERIAL IS NOT TO BE USED FOR FILL OR PAVEMENT SUBBASE. REMOVAL OF ANY EXCESS SOIL OFF-SITE SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
20. CONTRACTOR RESPONSIBLE FOR VERIFYING EARTHWORK CALCULATIONS PRIOR TO COMMENCING WORK. NO EXTRA EARTHWORK WILL BE PAID FOR ONCE EARTHWORK HAS BEGUN. ANY DISCREPANCIES WITH THE EARTHWORK CALCULATIONS SHALL BE REVIEWED WITH THE OWNER AND ENGINEER PRIOR TO CONSTRUCTION.
21. CONTRACTOR SHALL TAKE PRECAUTIONS TO AVOID TRACKING SOIL ONTO ADJACENT ROADWAYS. SCRAPE ROAD AT THE END OF EACH WORKDAY AND SWEEP AT LEAST ONCE A WEEK.
22. ANY DISTURBED AREA THAT WILL BE LEFT UNWORKED 5 DAYS OR LONGER MUST BE

SOIL EROSION AND SEDIMENTATION CONTROL MEASURES

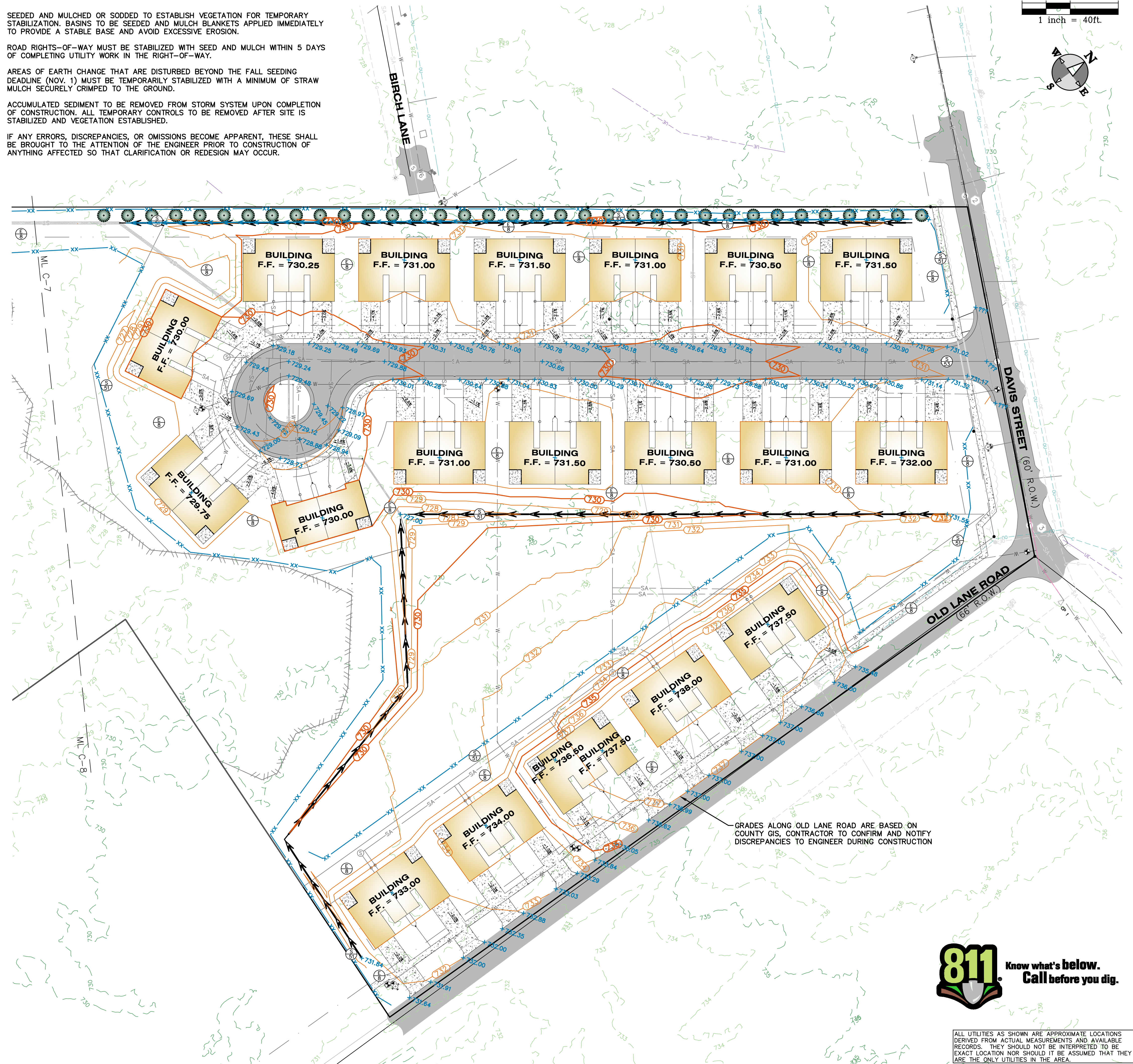
KEY	BEST MANAGEMENT PRACTICES	SYMBOL	WHERE USED
E7	TEMPORARY SEEDING		Stabilization method utilized on construction sites where earth change has been initiated but not completed within a 2 week period.
E8	PERMANENT SEEDING		Stabilization method utilized on sites where earth change has been completed (final grading attained).
E9	MULCH BLANKETS		On exposed slopes, newly seeded areas, new ditch bottoms, or areas subject to erosion.
E12	RIPRAP		Use along shorelines, waterways, or where concentrated flows occur. Slows velocity, reduces sediment load, and reduces erosion.
S51	SILT FENCE		Use adjacent to critical areas, to prevent sediment laden sheet flow from entering these areas.
S53	STABILIZED CONSTRUCTION ACCESS		Used at every point where construction traffic enters or leaves a construction site.

GRADING PLAN LEGEND

- | | |
|---|--------------------------|
|  | PROPOSED CONTOUR 5-FT |
|  | PROPOSED CONTOUR NORMAL |
|  | EXISTING CONTOUR 5-FT |
|  | EXISTING CONTOUR NORMAL |
|  | PROPOSED SPOT GRADE |
|  | SOIL EROSION MEASURE |
|  | SEDIMENT CONTROL MEASURE |

SEEDING AND MULCHING OR SODDING TO ESTABLISH VEGETATION FOR TEMPORARY STABILIZATION. BASINS TO BE SEEDING AND MULCH BLANKETS APPLIED IMMEDIATELY TO PROVIDE A STABLE BASE AND AVOID EXCESSIVE EROSION.

23. ROAD RIGHTS-OF-WAY MUST BE STABILIZED WITH SEED AND MULCH WITHIN 5 DAYS OF COMPLETING UTILITY WORK IN THE RIGHT-OF-WAY.
24. AREAS OF EARTH CHANGE THAT ARE DISTURBED BEYOND THE FALL SEEDING DEADLINE (NOV. 1) MUST BE TEMPORARILY STABILIZED WITH A MINIMUM OF STRAW MULCH SECURELY CRIMPED TO THE GROUND.
25. ACCUMULATED SEDIMENT TO BE REMOVED FROM STORM SYSTEM UPON COMPLETION OF CONSTRUCTION. ALL TEMPORARY CONTROLS TO BE REMOVED AFTER SITE IS STABILIZED AND VEGETATION ESTABLISHED.
26. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS BECOME APPARENT, THESE SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION OF ANYTHING AFFECTED SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.



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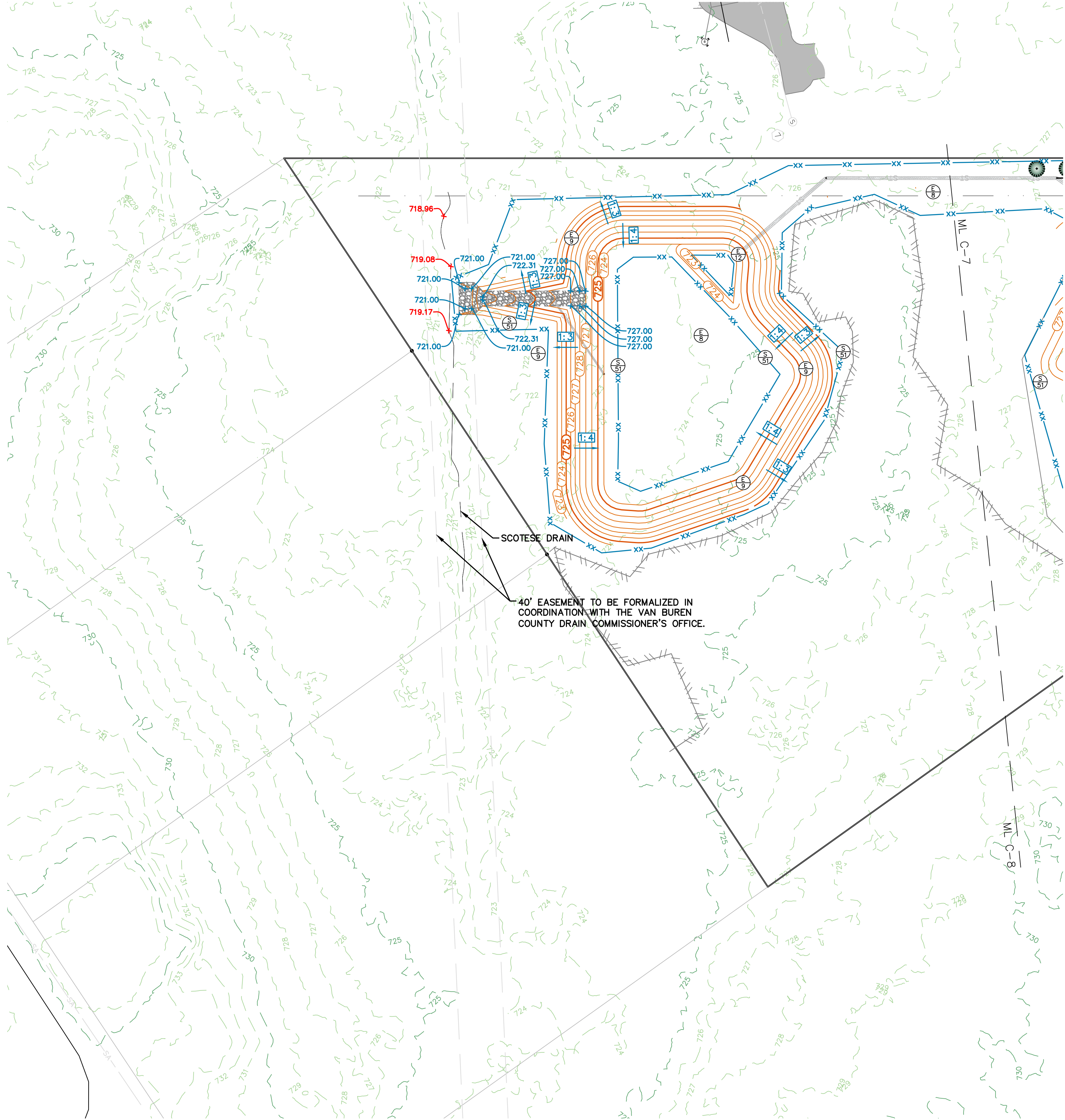
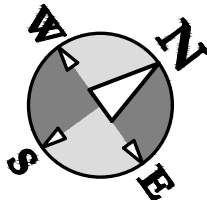
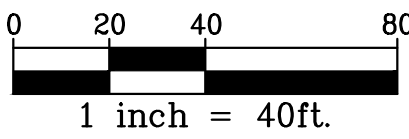
**FIELD WORK PERFORMED BY:
HURLEY & STEWART, LLC**

DRAWING LOCATION: H:\24-082D (Mette Residential Development) - Proj Files\FINAL DRAWINGS\C-7 GRADING-SESC PLAN.dwg LAST SAVED BY: RICHARDSON ON 1/29/2025

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SOIL EROSION AND SEDIMENTATION CONTROL MEASURES

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- PROPOSED CONTOUR 5-FT
- PROPOSED CONTOUR NORMAL
- EXISTING CONTOUR 5-FT
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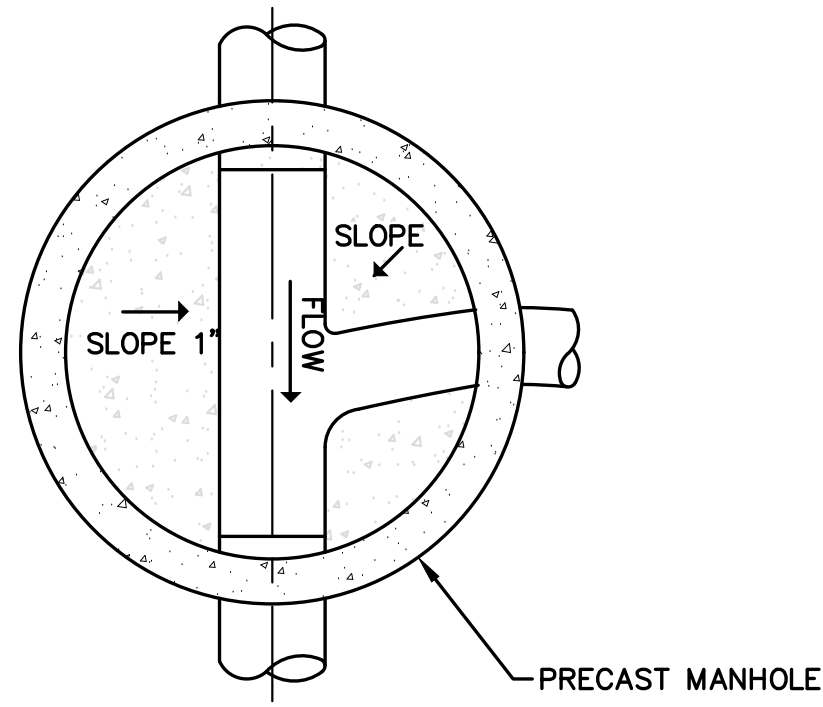
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1 SITE PLAN REVIEW 1/02/25
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BASIN GRADING-SESC PLAN
HERITAGE WOODS CONDOMINIUMS
GREG WATTS / PRIME HOMES

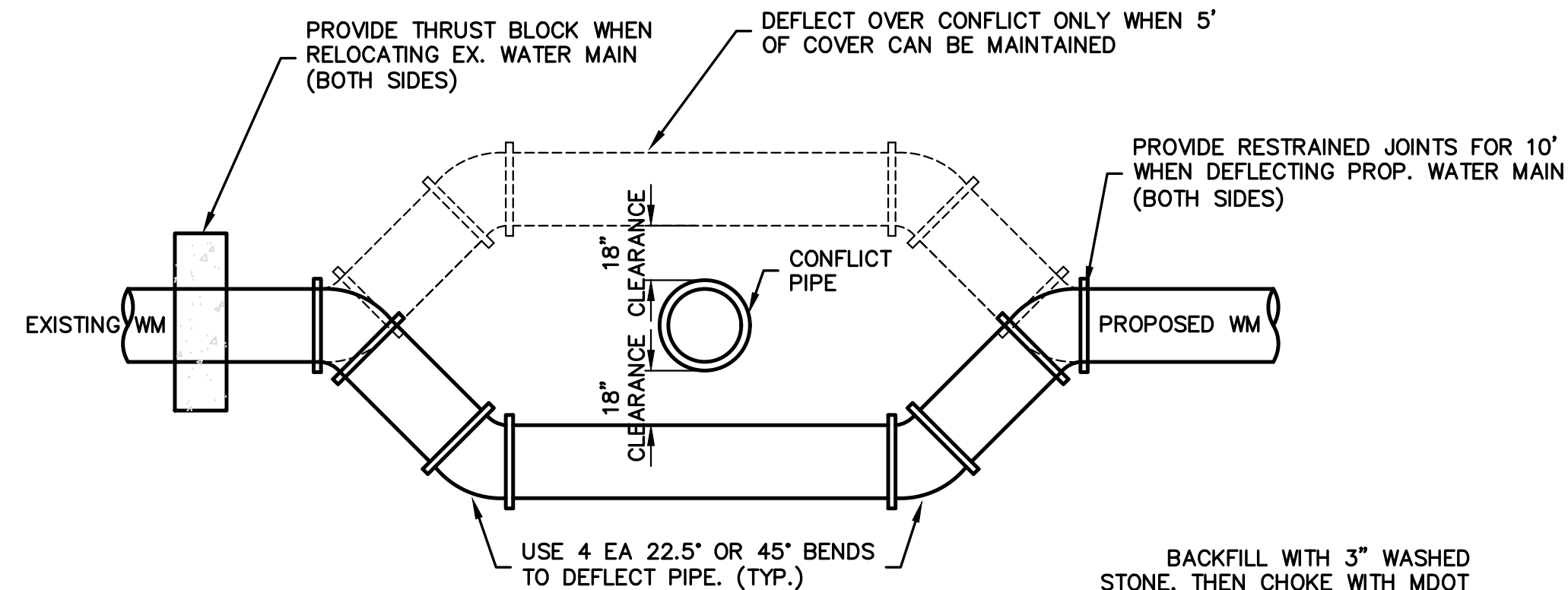
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1/29/25
Sheet
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DRAWING LOCATION: H:\24-082D\Heritage Woods Condominiums - Prime Homes\Final Drawings\C-8 SITE DETAILS.dwg LAST SAVED BY: RICHARDSON ON 1/29/2025



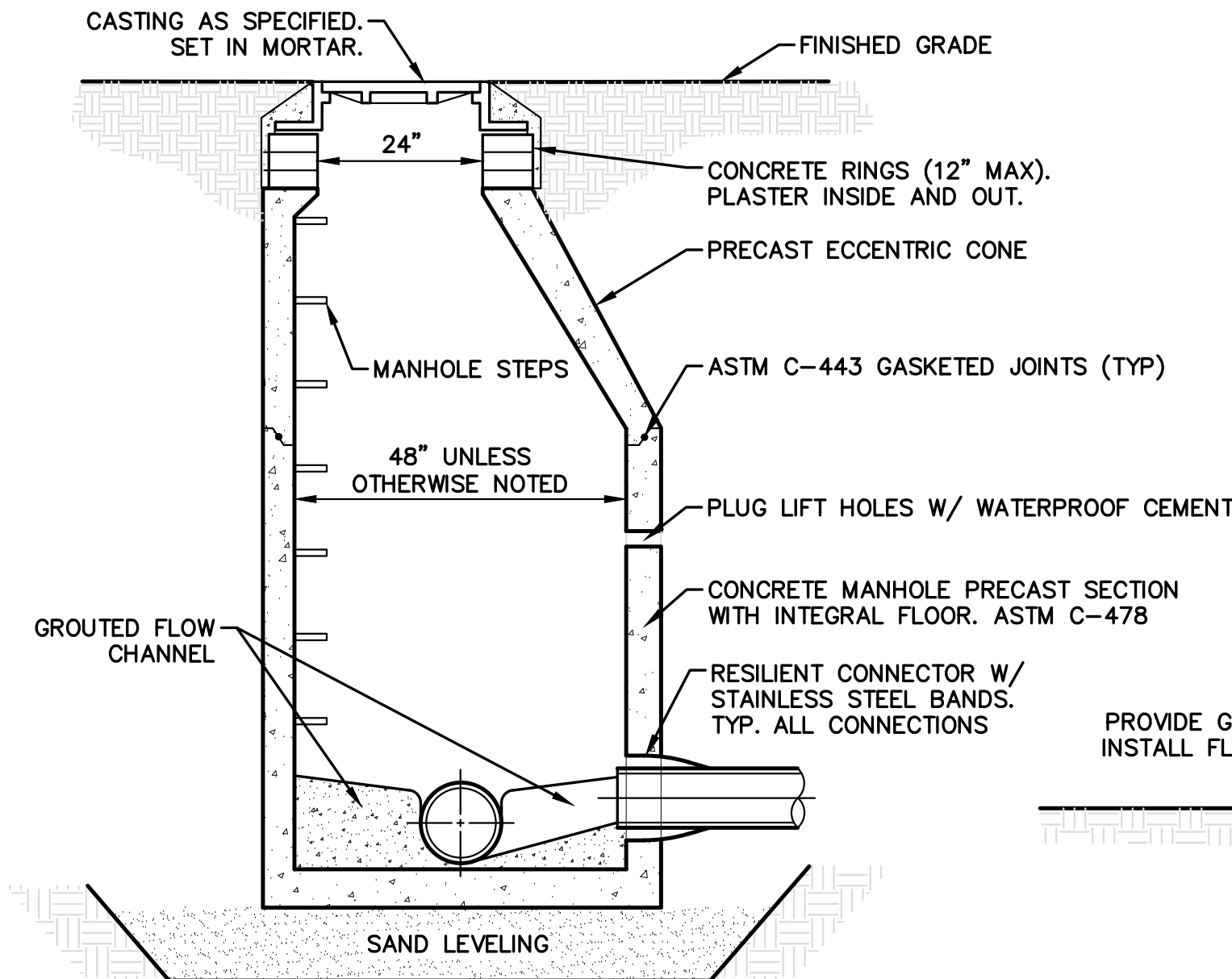
PLAN VIEW



NOTE:
RESTRAIN ALL JOINTS IN DEFLECTION AREA.

WATER MAIN DEFLECTION DETAIL

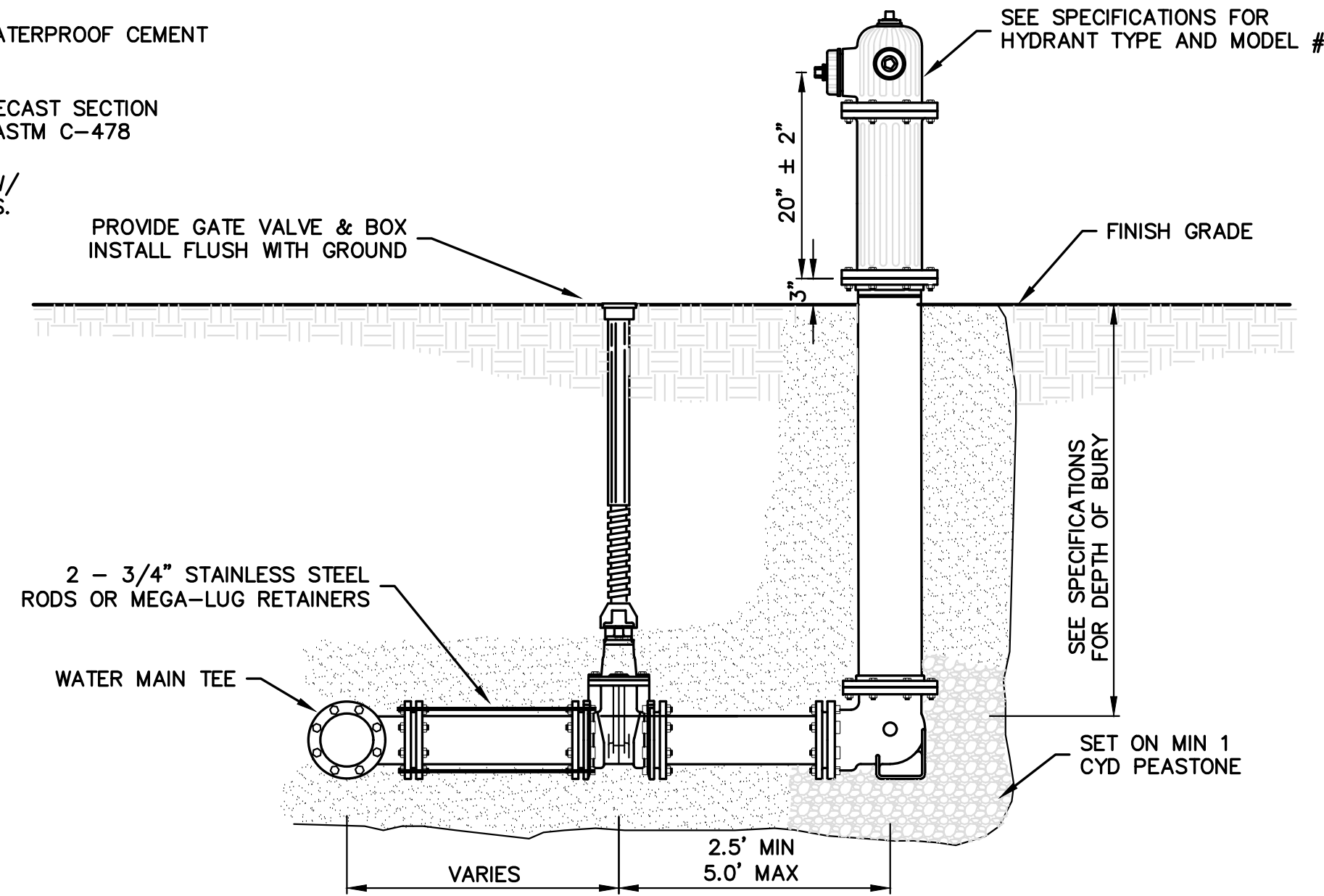
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STANDARD MH SECTION

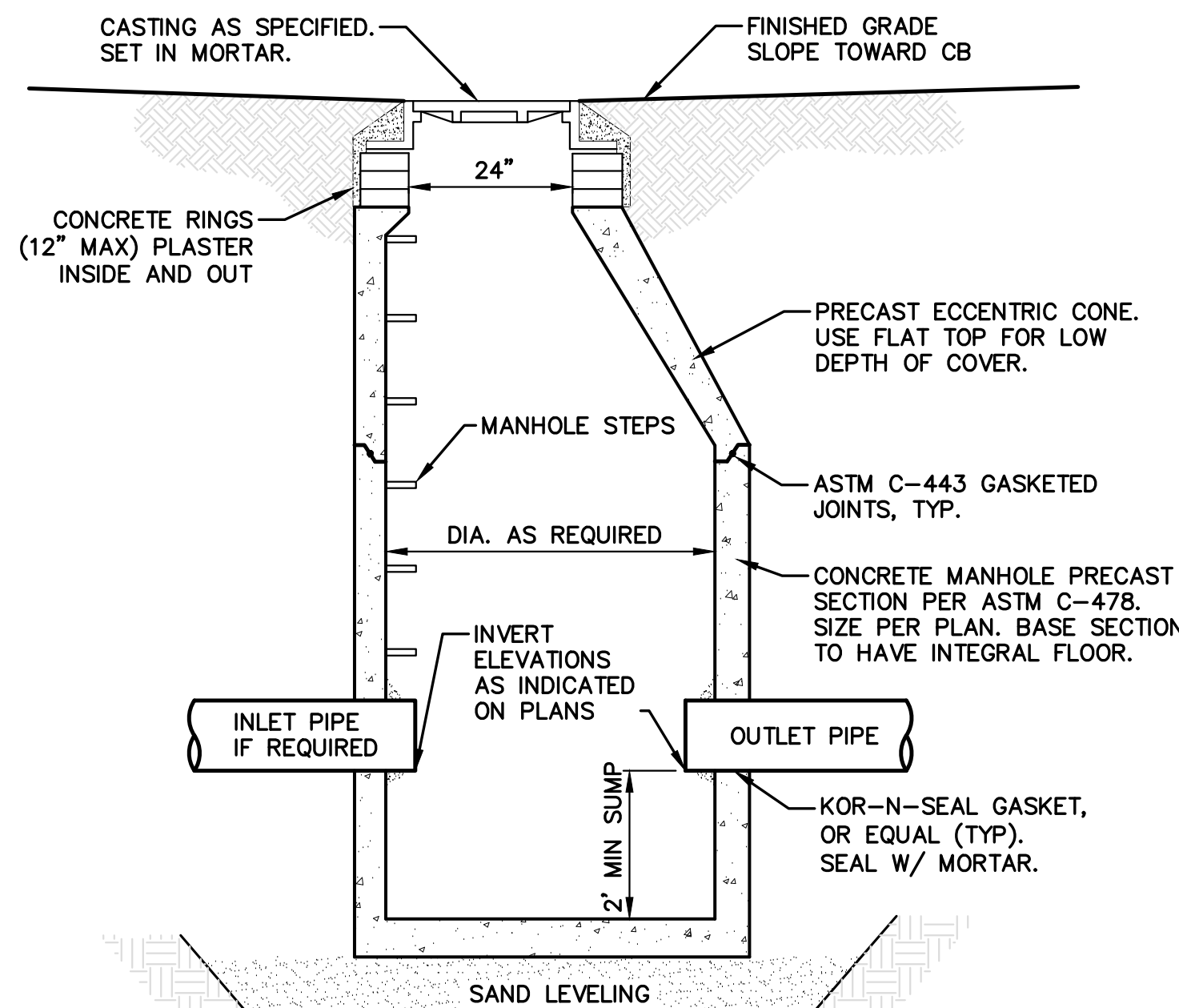
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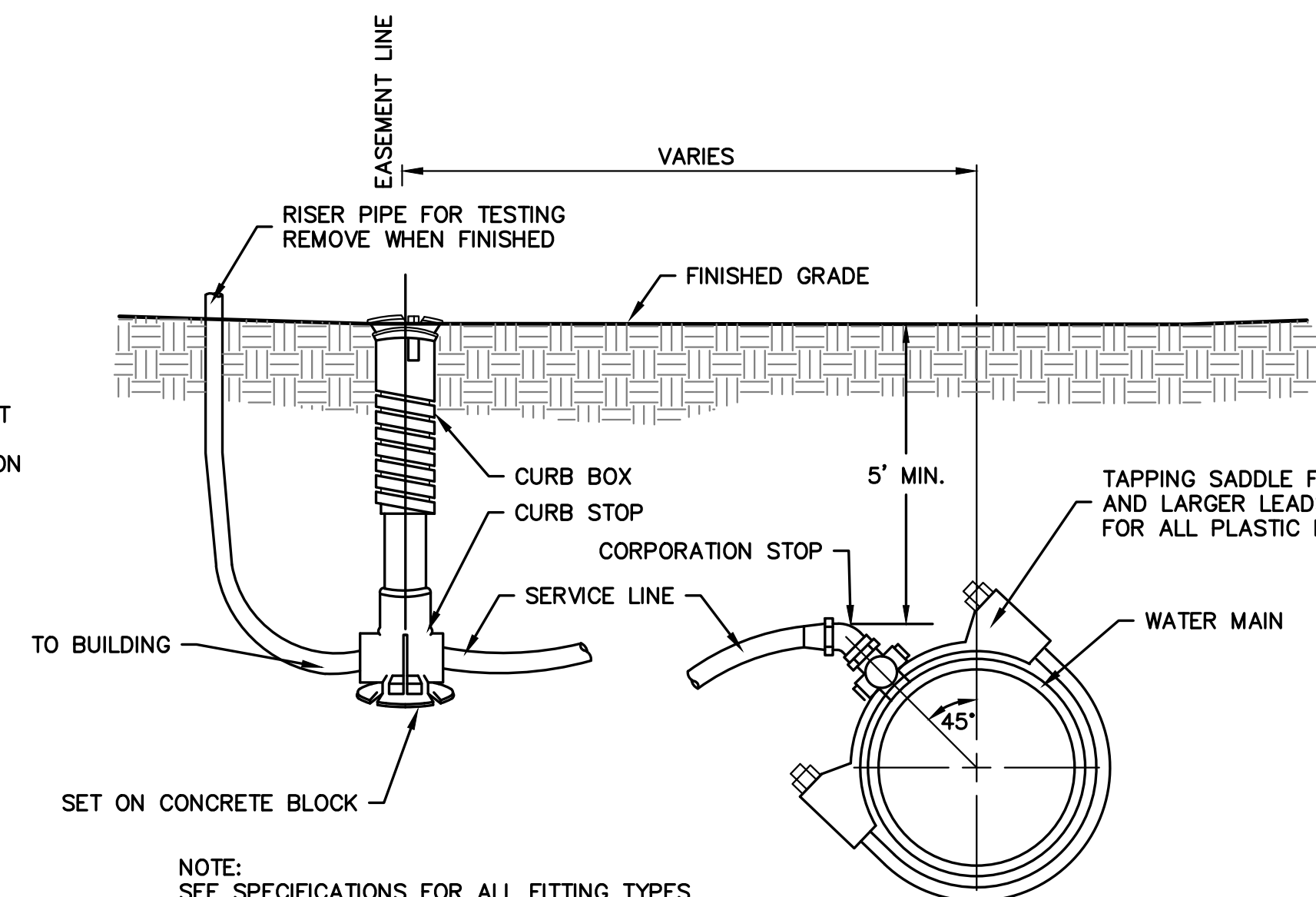
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CATCH BASIN DETAIL

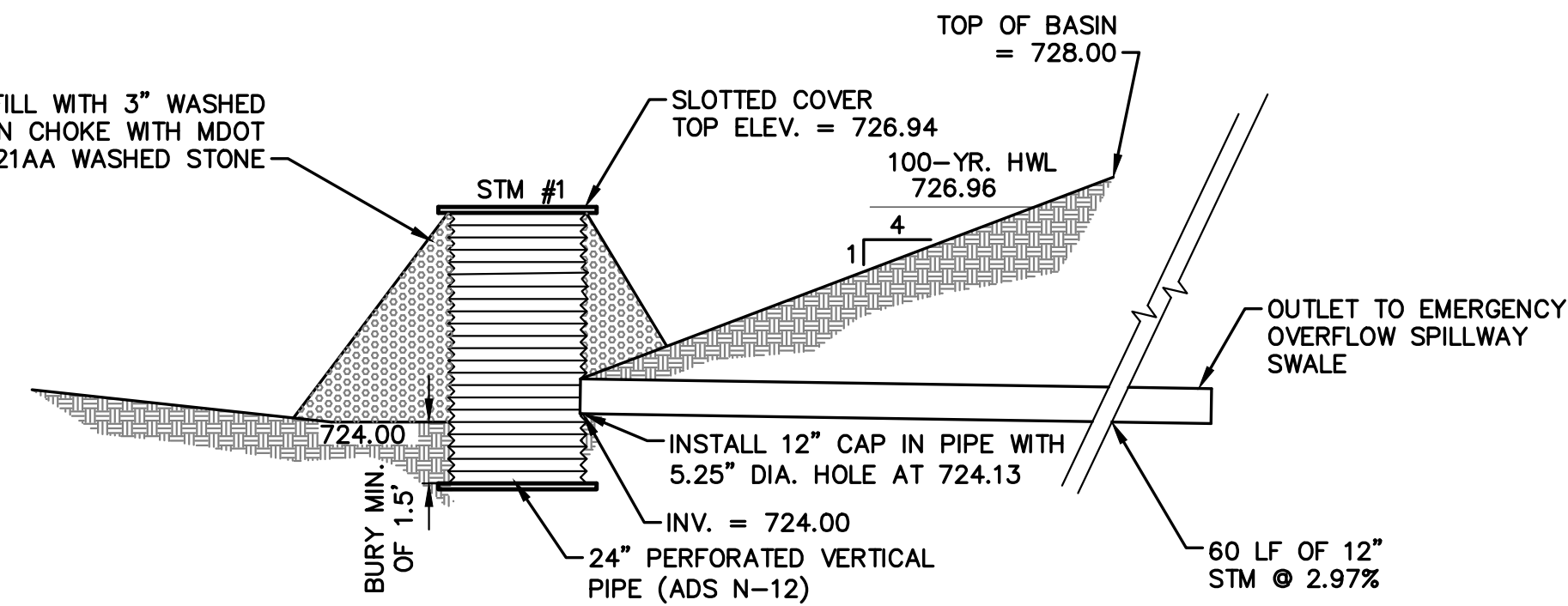
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NOTE:
SEE SPECIFICATIONS FOR ALL FITTING TYPES

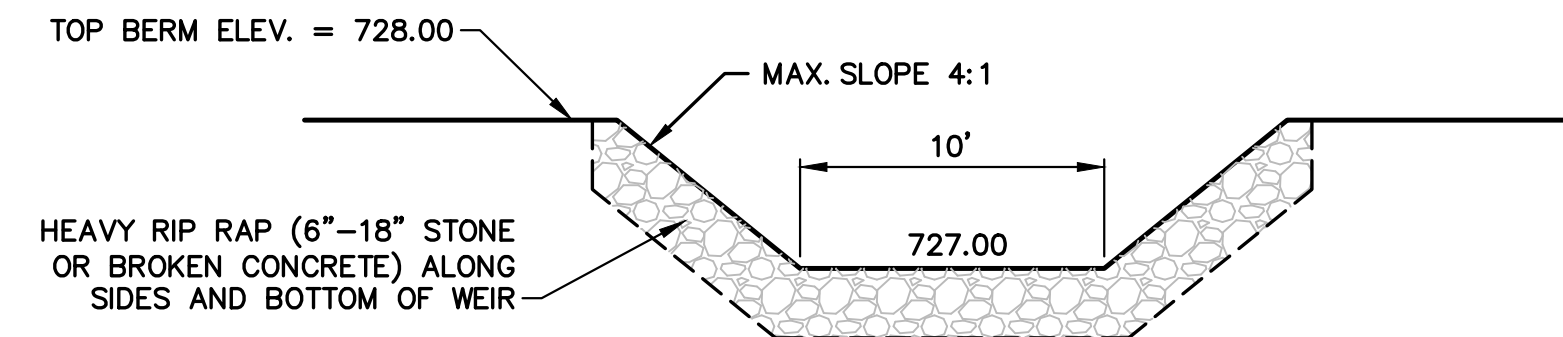
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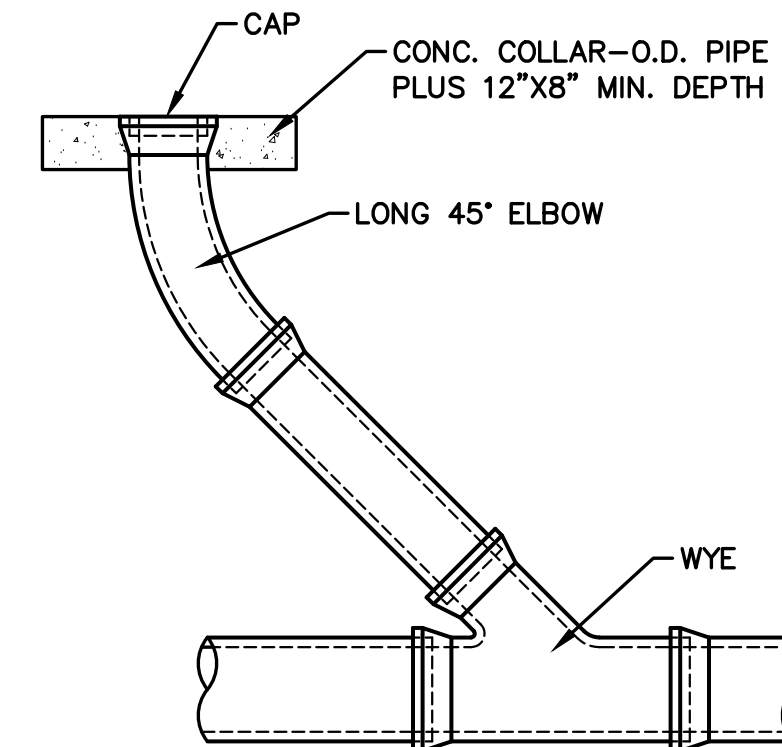
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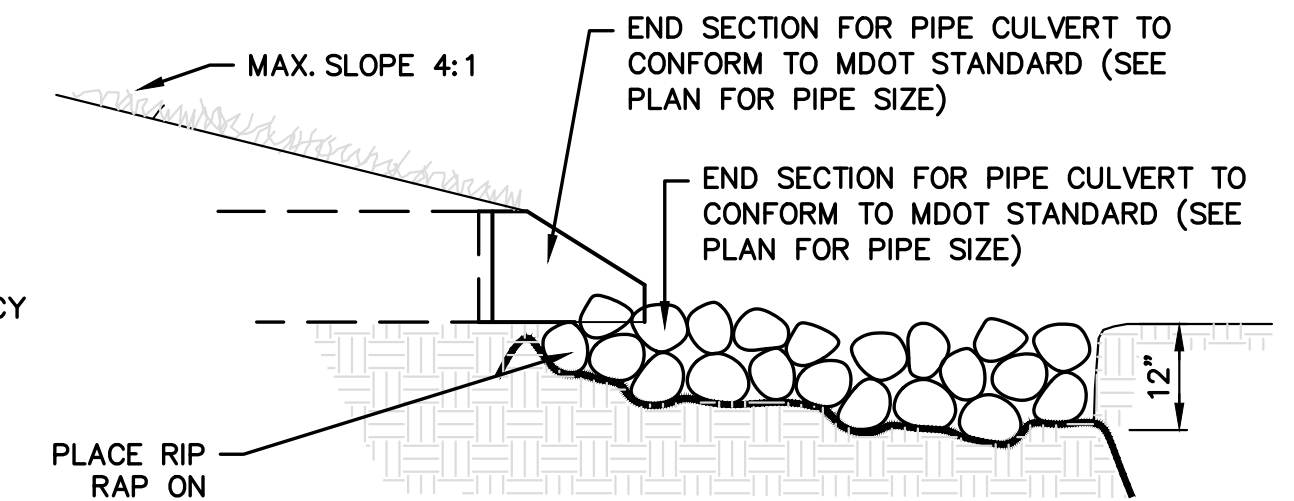
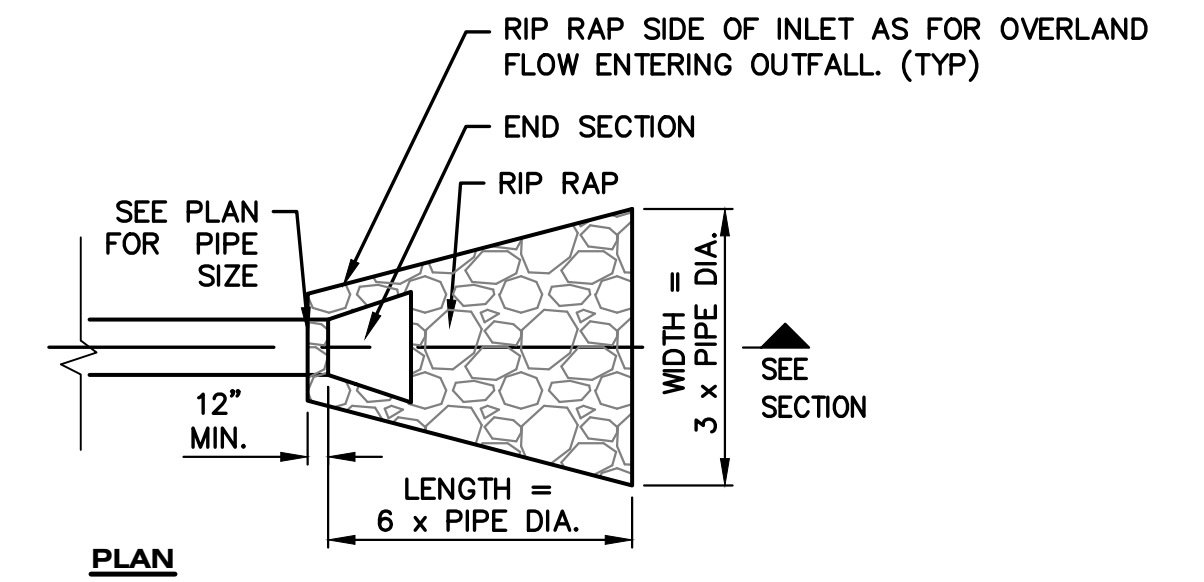
BASIN OVERFLOW WEIR DETAIL

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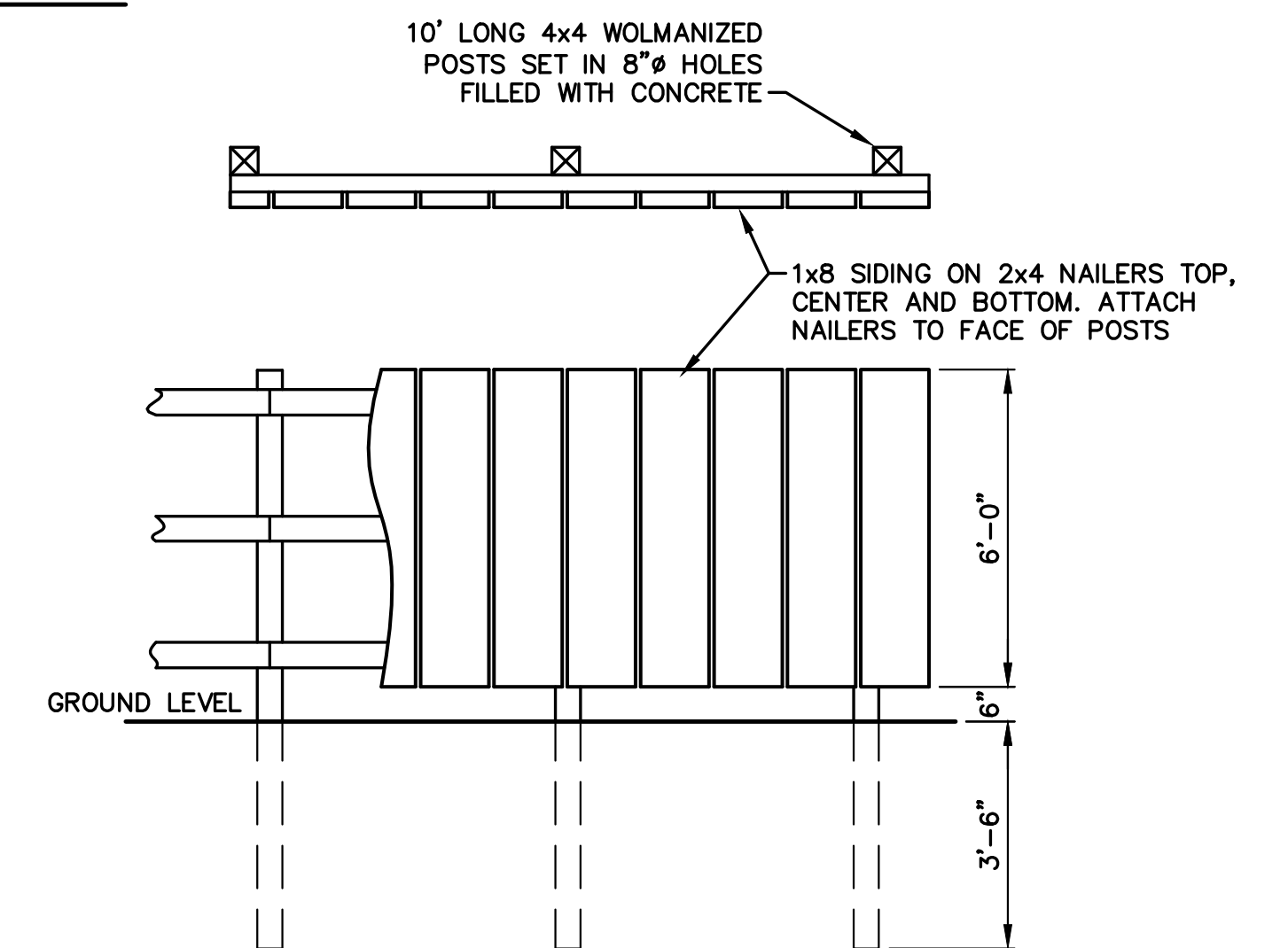
CLEANOUT DETAIL

NOT TO SCALE



PIPE CULVERT WITH FLARED END SECTION DETAIL

NOT TO SCALE



PRIVACY FENCE DETAIL

NOT TO SCALE

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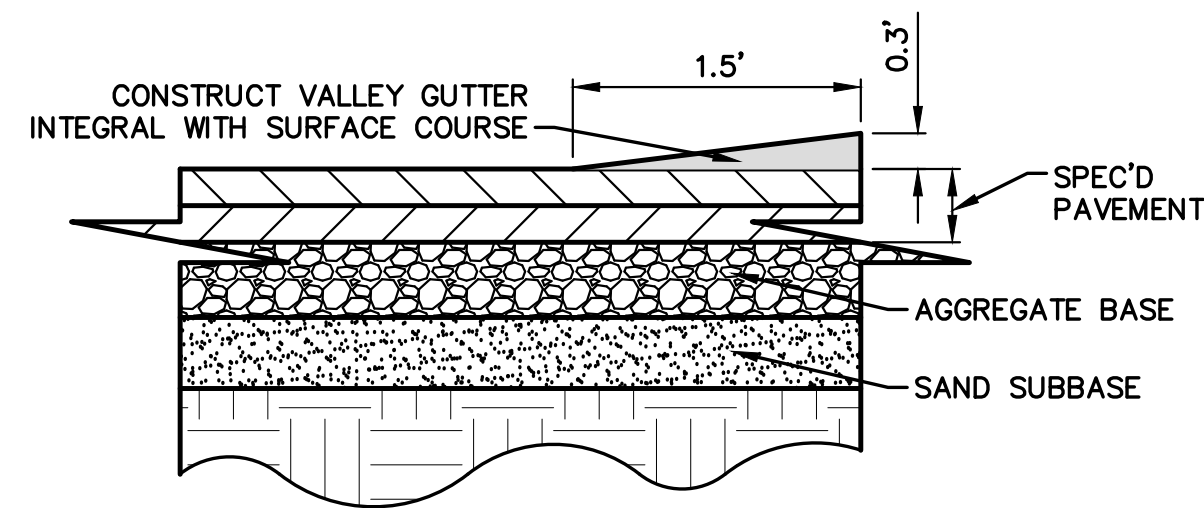
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UTILITY DETAILS
HERITAGE WOODS CONDOMINIUMS
GREG WATTS / PRIME HOMES

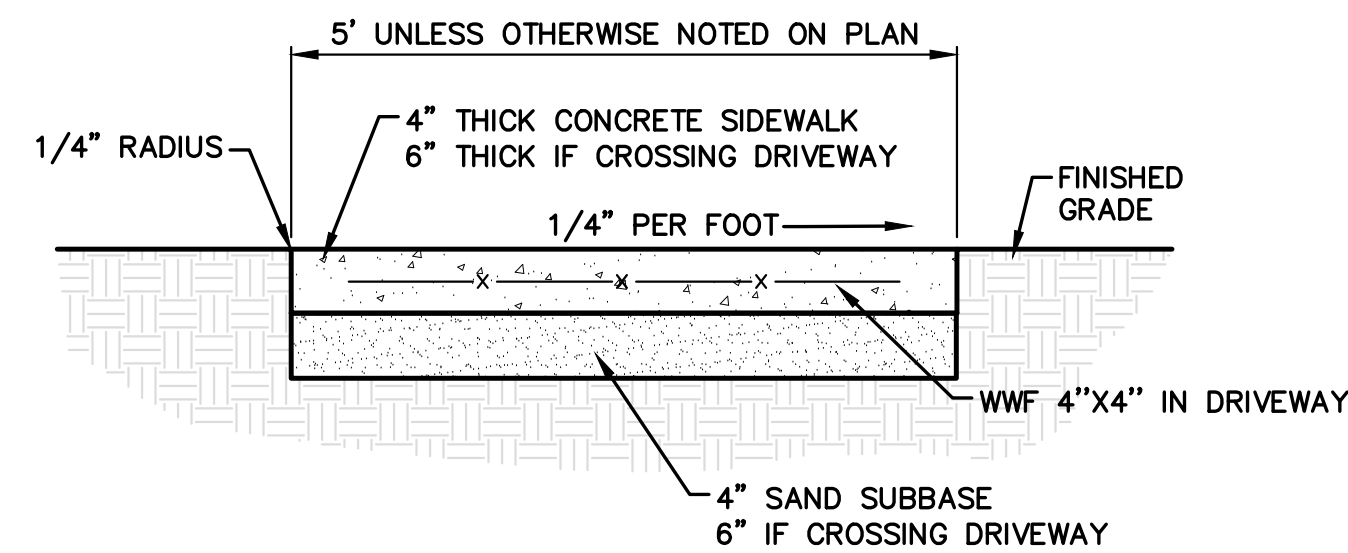
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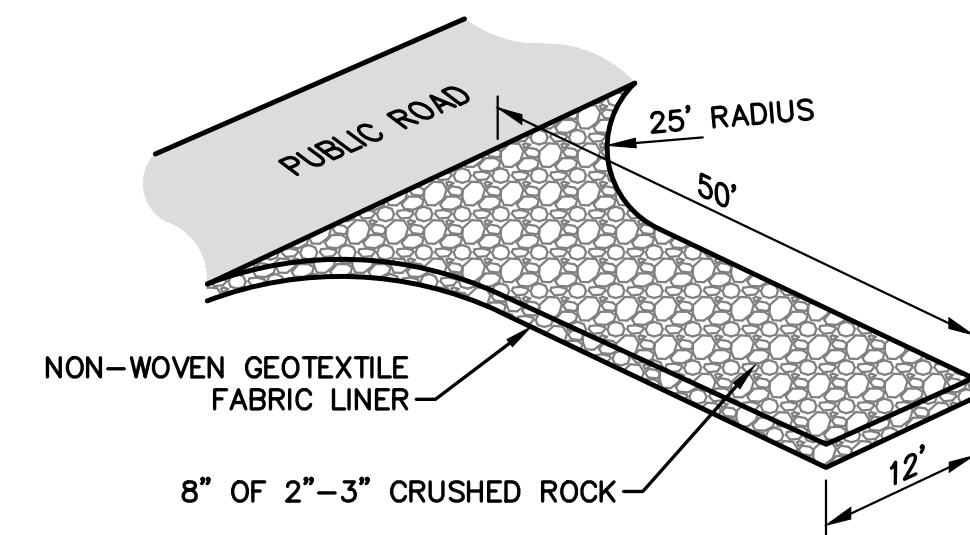
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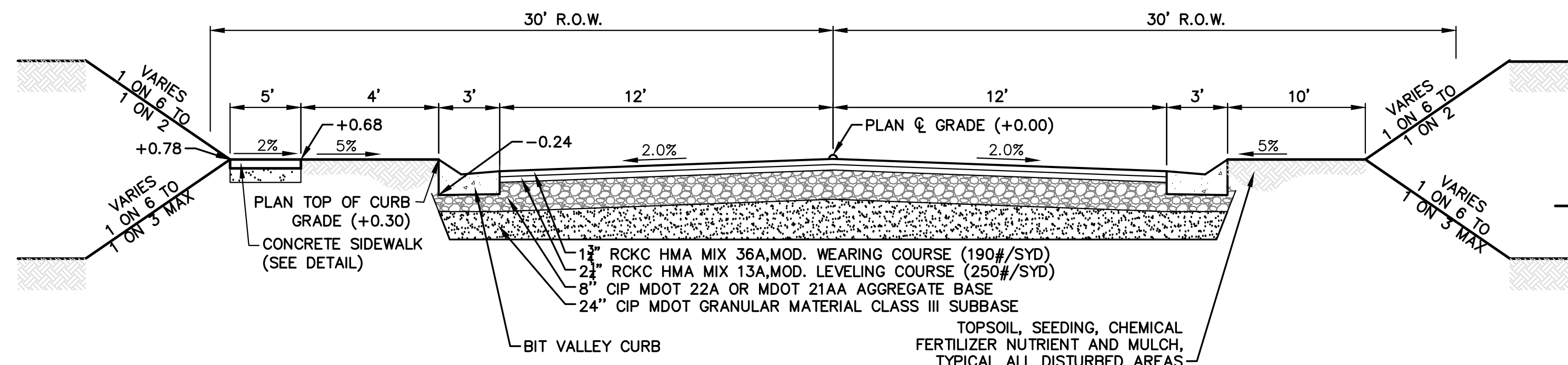
BITUMINOUS VALLEY GUTTER
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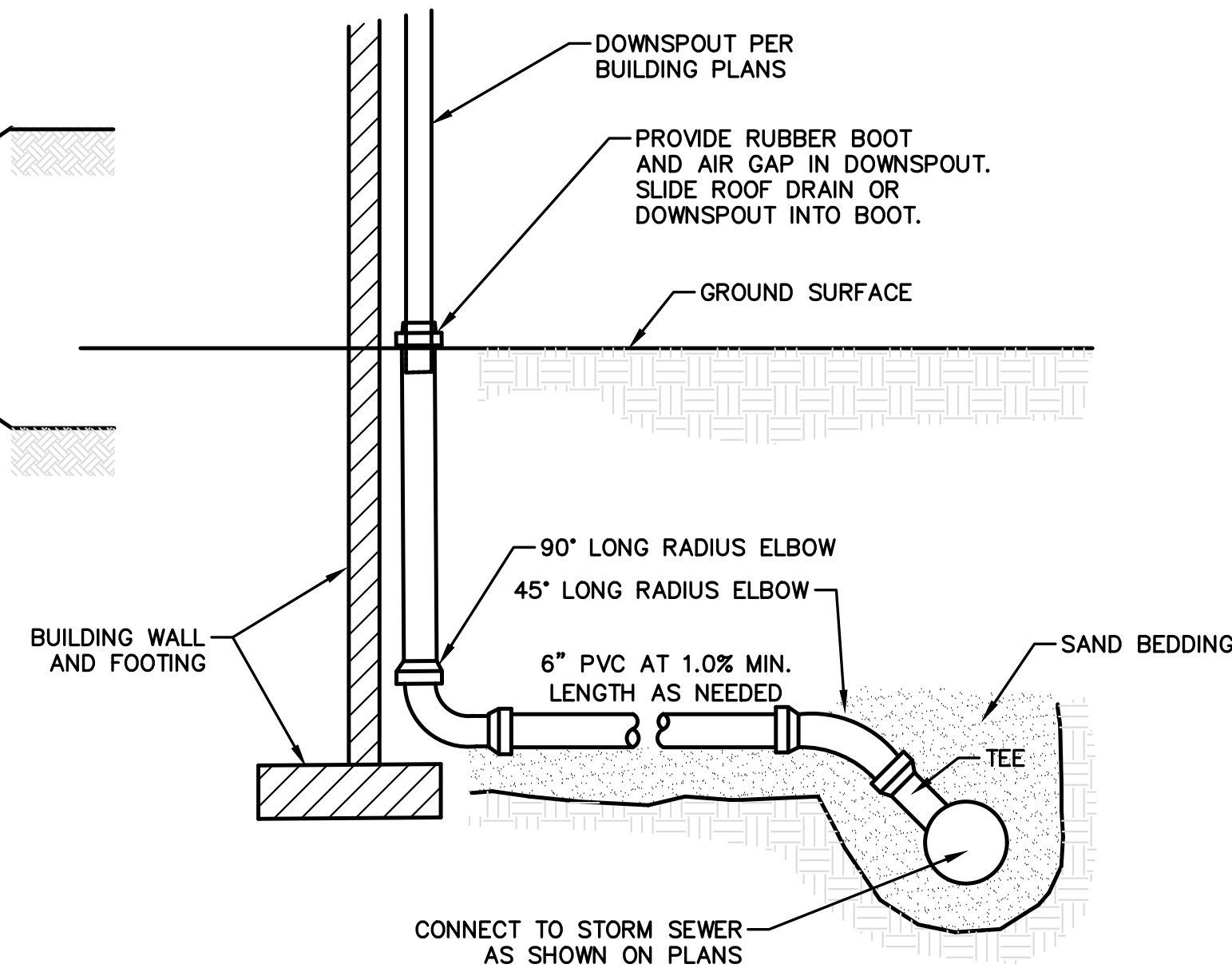
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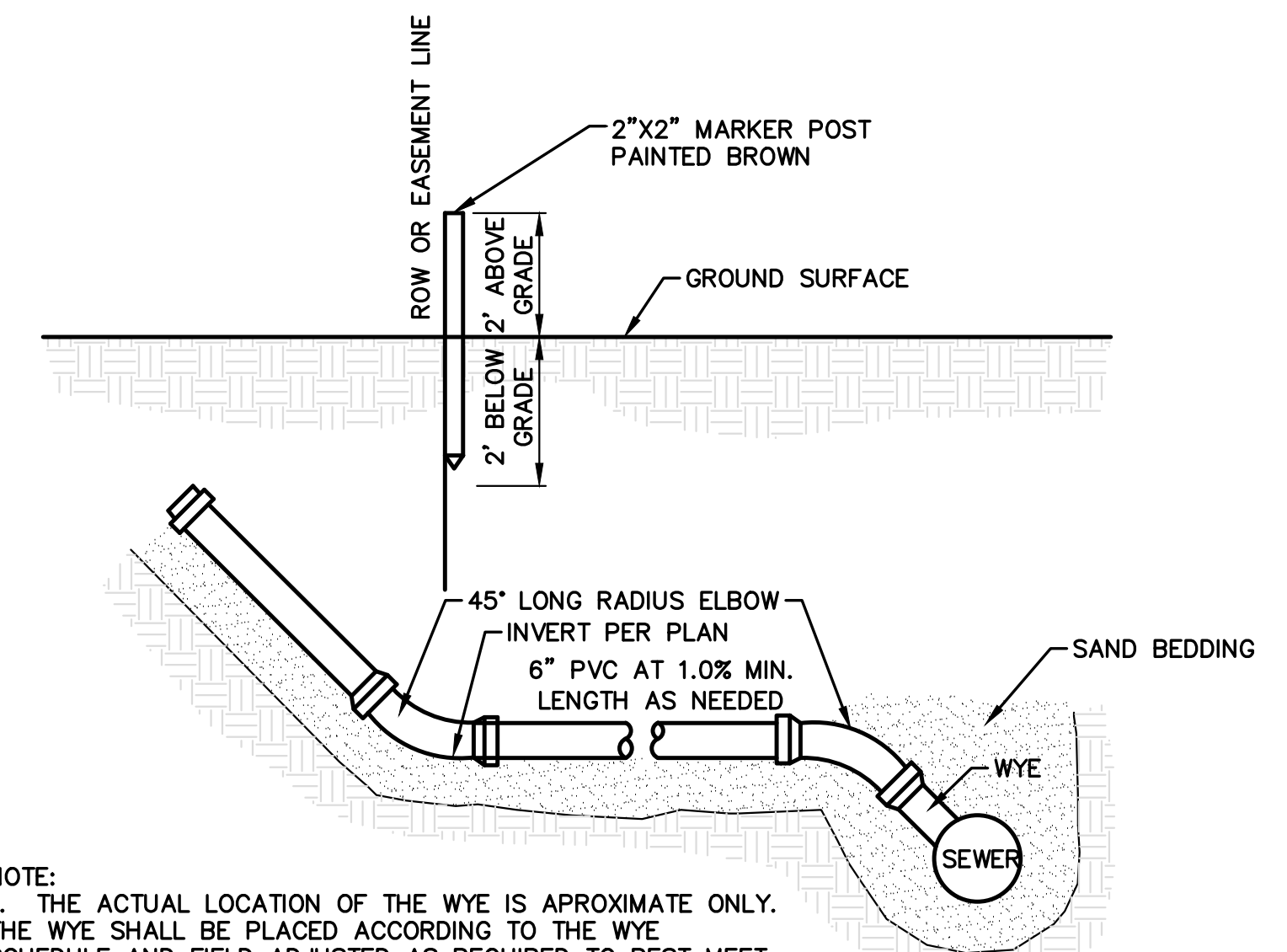
S53 STABILIZED CONSTRUCTION ACCESS
NOT TO SCALE



TYPICAL PAVEMENT SECTION - PROPOSED ROAD
NOT TO SCALE

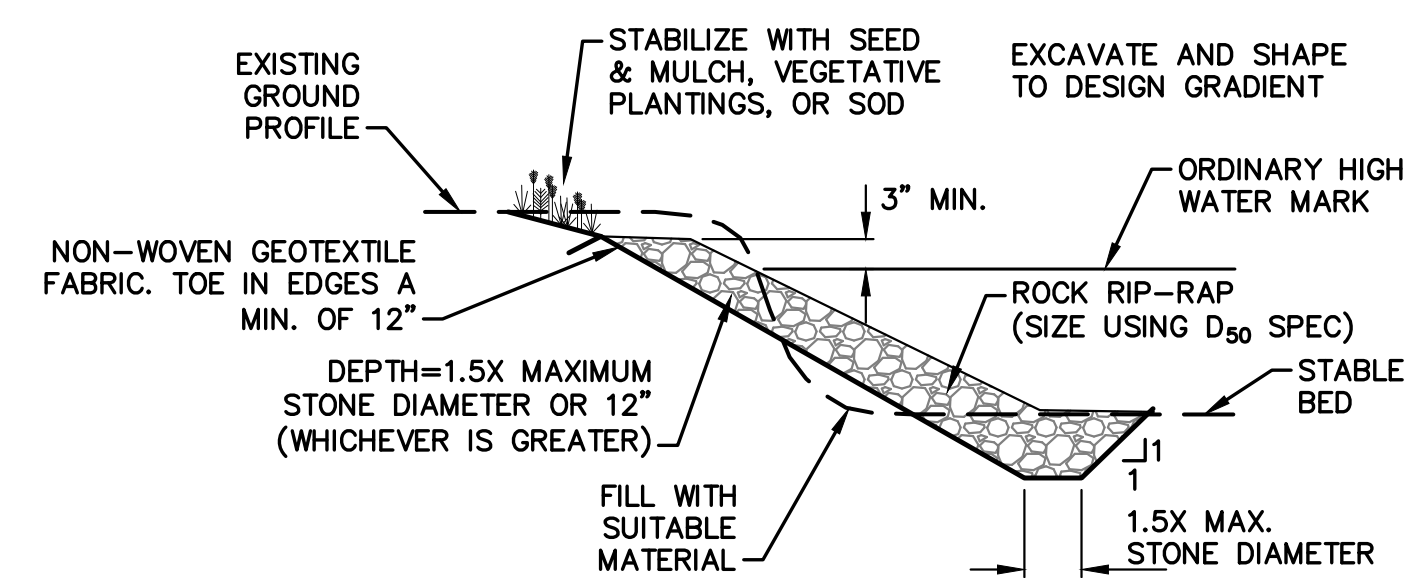


ROOF LEAD/ DOWNSPOUT DETAIL
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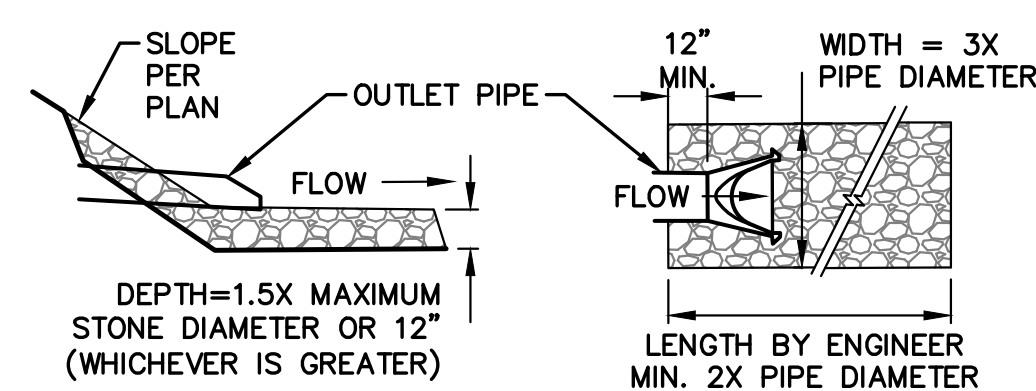


NOTE:
1. THE ACTUAL LOCATION OF THE WYE IS APPROXIMATE ONLY. THE WYE SHALL BE PLACED ACCORDING TO THE WYE SCHEDULE AND FIELD ADJUSTED AS REQUIRED TO BEST MEET THE NEEDS OF THE PROPERTY.
2. RECORD ALL WYE LOCATIONS ON THE DRAWINGS.

SANITARY LEAD DETAIL
NOT TO SCALE

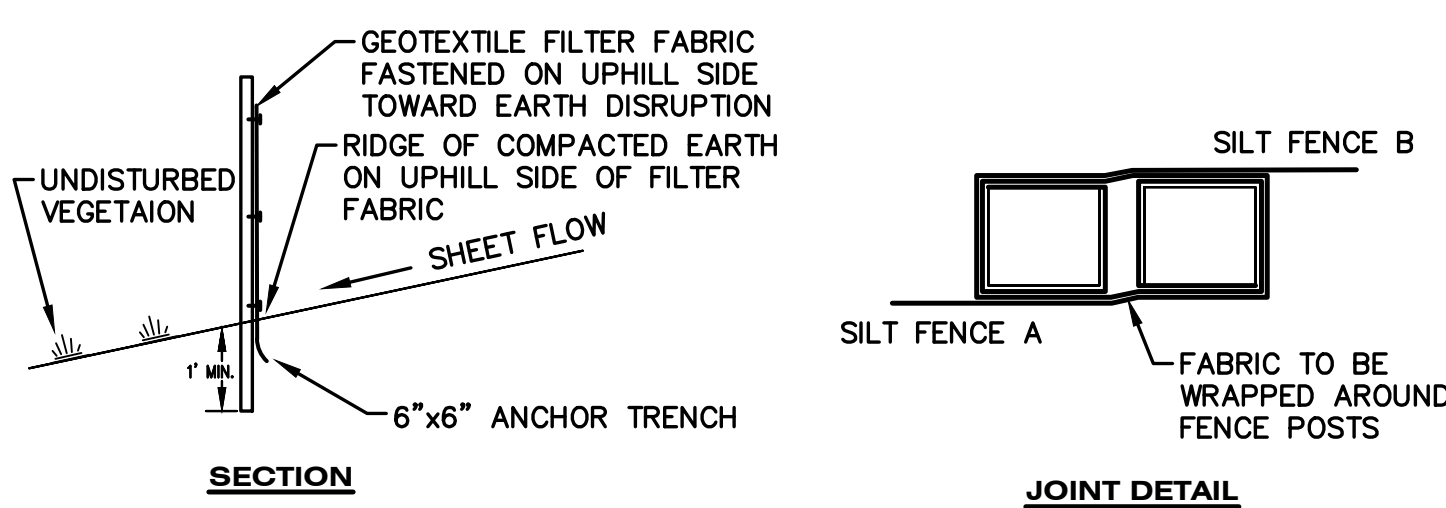
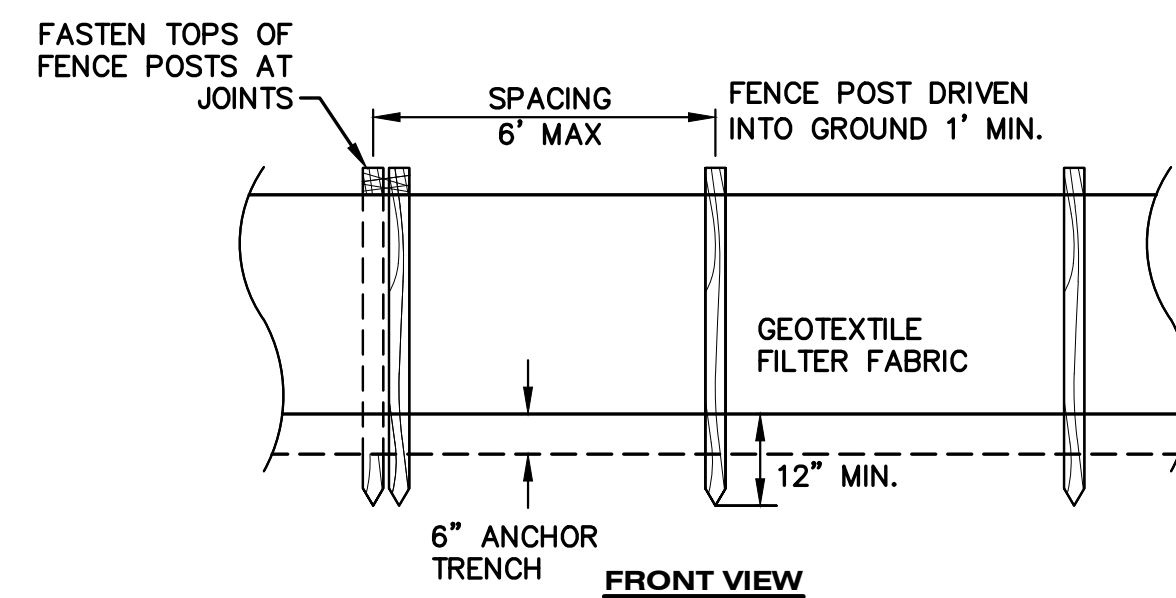


STREAM BANK APPLICATION

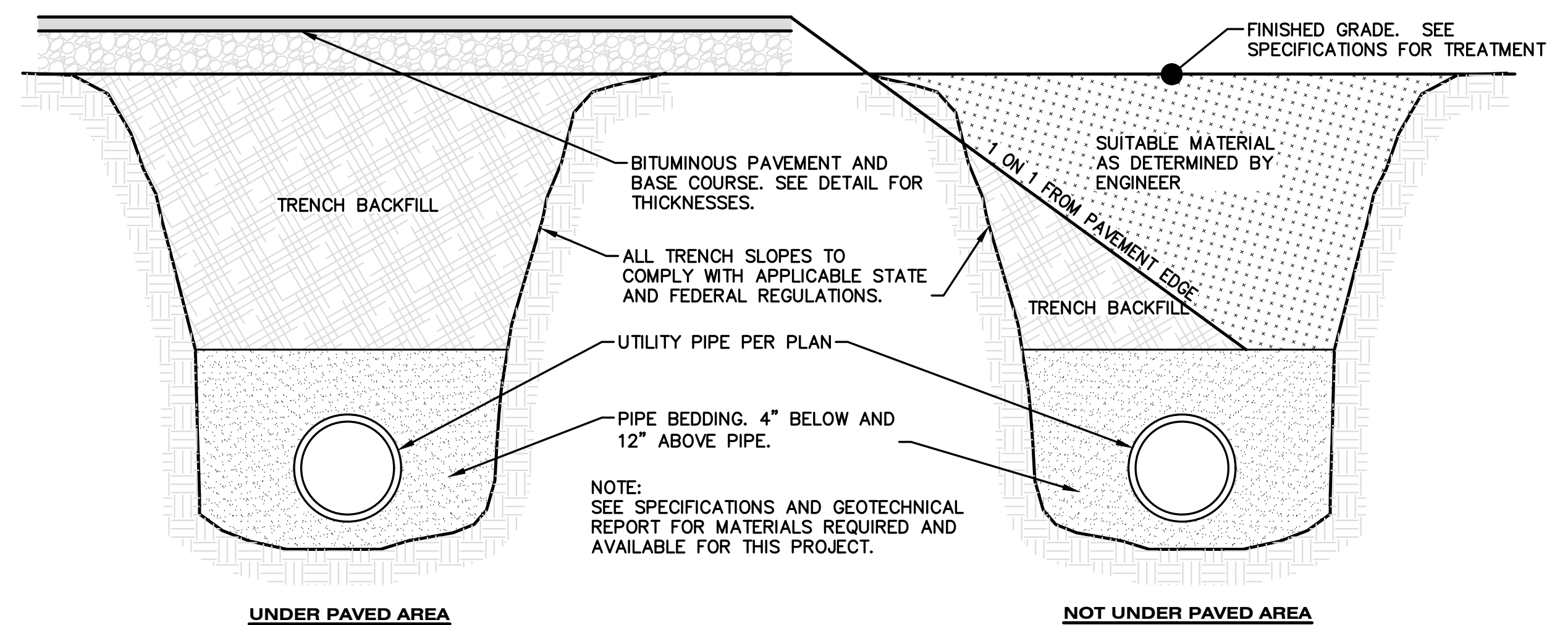


OUTLET POINT APPLICATION

E12 STANDARD RIPRAP DETAIL
NOT TO SCALE

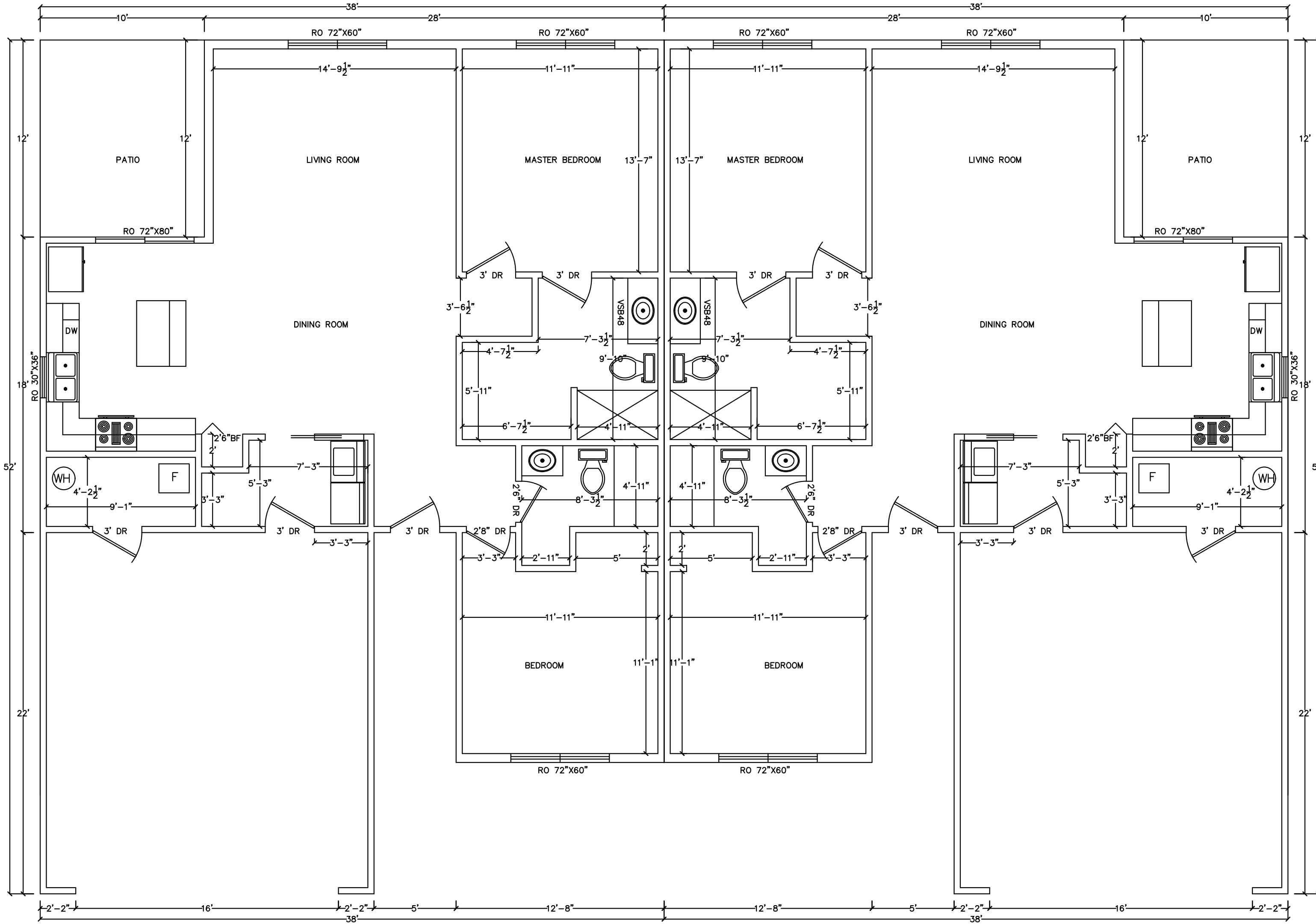


S51 SILT FENCE DETAIL
NOT TO SCALE



TRENCH DETAILS
NOT TO SCALE

DRAWING LOCATION: H:\24-082D_Village Residential Development - Paw Paw\FINAL DRAWINGS\Floor Plan Exhibit.dwg LAST SAVED BY: RICHARDSON ON 1/29/2025

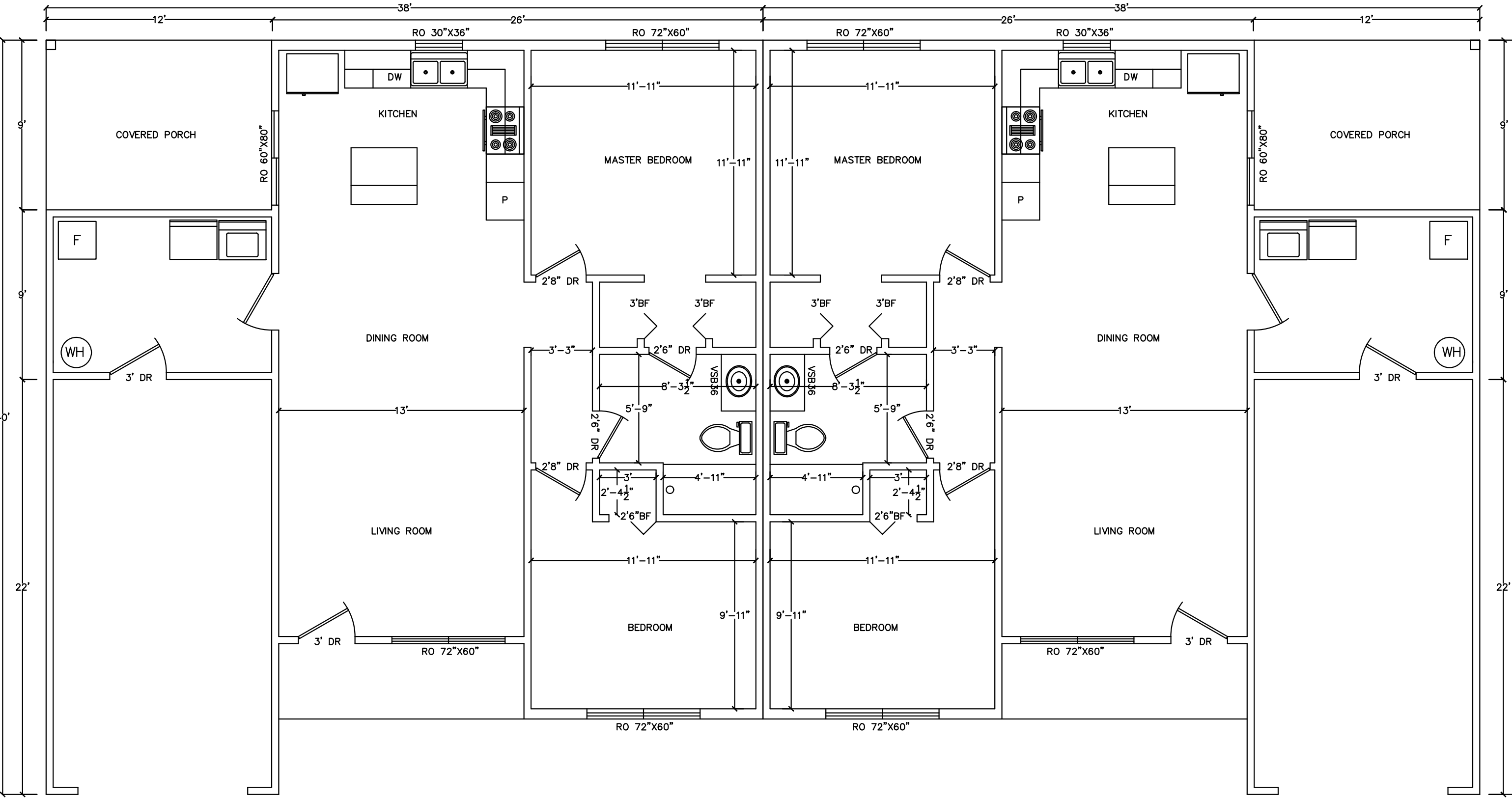


1ST FLOOR PLAN
1,152 SQ.FT.

1ST FLOOR PLAN
1,152 SQ.FT.

LARGE UNITS

- 1,152 SFT PER DWELLING UNIT
- UNITS 1-16, 19-38
- 38' X 52' PER UNIT
- 22' X 20' 2-CAR GARAGE PER UNIT



1ST FLOOR PLAN
903 SQ.FT.

1ST FLOOR PLAN
903 SQ.FT.

SMALL UNITS

- 903 SFT PER DWELLING UNIT
- UNITS 17 AND 18
- 38' X 40' PER UNIT
- 11' X 22' 1-CAR GARAGE PER UNIT

NOTE: FLOOR PLANS SHOWN WERE PROVIDED BY THE OWNER AND ARE NOT THE DESIGN OF HURLEY & STEWART. THESE FLOOR PLANS ARE SHOWN IN THE CIVIL SET FOR VILLAGE REVIEW PURPOSES ONLY.

Sheet Title:
Project:
Client:

1/29/25
Sheet

C-10

FLOOR PLAN EXHIBIT
HERITAGE WOODS CONDOMINIUMS
GREG WATTS / PRIME HOMES

Job No. 24-082D	P.M.-AJP	Draft: ETD	QA/QC: 1/29/25
ISSUED FOR/REVISIONS:			
1	SITE PLAN REVIEW	1/02/25	
2	SITE PLAN REVIEW COMMENT REVISIONS	1/29/25	

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hurley & stewart, llc
2800 s. 11th street
kalamazoo, michigan 49009
269.552.4960 fax 269.552.4961
www.hurleystewart.com

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MEMORANDUM

To: Village of Paw Paw Planning Commission
Date: January 31, 2025
From: Tricia Anderson, AICP
RE: Outdoor Entertainment Venue Zoning Ordinance Amendment

The Planning Commission will recall that the Village has been in the process of providing a path for the approval of outdoor entertainment venues, such as Warner Vineyards. The Village Manager has developed draft ordinance language that will amend a few different sections of the Zoning Ordinance in an effort to provide some parameters that outdoor entertainment venues in the B-2, General Business zoning district must adhere to. This version of the draft ordinance amendments is reflective of the concerns and comments expressed by the Planning Commission, the public, Williams & Works, and the sound engineer that has been working with Mr. Warner. The following sections of the Zoning Ordinance are proposed for amendments:

1. **Article I, In General, Section 42-3, Definitions** – the term, *outdoor entertainment venue* will be added.
2. **Article III, District Regulations, Division 7, B-2 General Business District, Section 42-223, Uses Subject to a Special Land Use Permit in the B-2 Zoning District** – (14) will be added to include *outdoor entertainment venue*.
3. **Article IV, Supplemental Regulations, Section 42-367, Special Land Uses, (27), Other Uses** – this section will be repealed due to its incompatibility with case law and the Zoning Enabling Act (Act 110 of 2006).
4. **Article IV, Supplemental Regulations, Section 42-367(27), Other Uses** – This section will be replaced with *Outdoor Entertainment Venue* as a title, and will contain the standards for approving the outdoor entertainment venue as a special land use.

The draft Zoning Ordinance Amendments will be on the February 6, 2025 Planning Commission agenda for discussion purposes only, and to offer a final opportunity for comment. We anticipate the Planning Commission holding a public hearing for a formal recommendation to the Village Council at the March 6, 2025 meeting.

A. Addition to Section 42-3, Definitions: *Outdoor Entertainment Venue* Defined:

When used in this Ordinance, the term "outdoor entertainment venue" shall mean a venue or establishment for entertainment outside an enclosed building to which more than fifty (50) persons may be admitted and for which a fee may be charged or accepted, including dances, shows, plays, skits, musical revues, dance productions, musical concerts, theater, and the production or provision of sights or sounds or visual or auditory sensations that are intended to or may entertain."

B. Addition to 42-223:

(14) Outdoor Entertainment Venue.

C. Deletion from 42-367:

(27) Other Uses – delete this in its entirety.

D. Addition to 42-367 – Replace (27) Other Uses with a new (27) Outdoor Entertainment Venue:

(27) Outdoor Entertainment Venue.

1. The issuance of a special use permit by the Planning Commission under this section is intended to protect the health, safety and welfare of the residents of the Village; to promote and encourage compatible outdoor uses in a comprehensive manner; to encourage the location and management of outdoor entertainment venues in a manner that protects the residents and property owners of the Village from the off-site impacts of such uses; and to minimize the adverse visual, acoustical and other negative impact of outdoor entertainment venues.
2. In addition to the required site plan, a venue management or event plan that addresses the following requirements shall be submitted:
 - a. **Parking.** Off street parking shall be provided at a ratio of at least ½ the number established as the capacity of the venue. Dedicated off-street parking may be at the venue itself or within 500 feet of the venue, either through lease, ownership or other formal arrangement. Disabled parking must be provided in accordance with the Americans with Disabilities Act.
 - b. **Capacity.** The attendance capacity of the venue shall be established by the fire department or authority with jurisdiction over the venue and shall be based upon the submitted site plan.
 - c. **Communication.** The names and phone numbers of at least two people who will have authority regarding the venue and the events produced

therein shall be provided and updated as necessary to ensure communication between the venue and the Village of Paw Paw is maintained.

- d. **Emergency and Security Planning.** An emergency and security plan shall be submitted for review by the police and fire departments with jurisdiction over the venue. Potential emergencies to be addressed include those caused by weather, accidents and similar. A recommendation for approval must be made by these departments before the Planning Commission can take action on the Special Use application. At a minimum, the security plan shall address the following:
 - i. Severe weather precautions and response plan
 - ii. Fire response plan
 - iii. Physical altercations (fights)
 - iv. Private security provisions & planned activities
 - v. Active shooter/mass casualty event plan
 - vi. Medical emergency plan
 - vii. The Chief of Police shall determine whether and to what extent additional police protection is reasonably necessary for the Outdoor Entertainment Venue for purposes of public safety and traffic control. The Chief of Police shall base this decision on the size, location, duration, time and date of the event.
3. **Sanitation.** The applicant must demonstrate that adequate provisions for sanitation facilities will be in place to accommodate a number of patrons equal to the venue capacity.
4. **Alcohol.** If the venue sells or provides alcoholic beverages to patrons, the applicant must demonstrate that it holds the license(s) required by the Michigan Liquor Control Commission. In the event that the applicant's liquor license is changed or revoked by the Michigan Liquor Control Commission, it must notify the Village immediately.
5. **Noise.** The applicant must provide information demonstrating that appropriate steps are taken to minimize or eliminate noise from escaping the venue onto neighboring properties. In no event shall the outdoor entertainment event take place between the hours of 11 p.m. and 8 a.m.,

Monday through Saturday of any week, nor before Noon or after 10 p.m. on Sundays.

- a. In addition to the above stated limitations on time of day, and day of the week, it shall be a prima facie violation of this regulation for any outdoor entertainment venue or presentation to create noise measured at street level in excess of the following:
 - b. Ninety (90) DB between 8 a.m. and 11 p.m.
 - c. Seventy-five (75) DB between 11 p.m. and 8 a.m.
6. **Entrance & Egress.** The venue or event plan must demonstrate safe and adequate provisions for entrance and egress of patrons on foot or by vehicle as appropriate to the venue and/or event. The entrance and egress accommodation should facilitate a safe and swift emptying of the venue in the event of an emergency and should be evaluated by the police and fire departments with jurisdiction over the venue. Appropriate signage indicating exits shall be posted and visible at all times the venue is in operation.
7. **Lighting & illumination.** Exterior lighting, whether intended as part of the entertainment production or to illuminate the property and grounds must be directed and arranged to limit the effect of light on to adjacent properties.
8. **Insurance.** The venue owner or operator will provide information as to its liability insurance coverage, which must be in an amount of \$1,000,000 or more.
9. **Camping & overnight lodging.** Camping and overnight stays by patrons is prohibited, unless the venue provides overnight lodging as part of its regular business operations. Overnight lodging must be provided in accordance with Village of Paw Paw regulations regarding hotels and motels, or short-term rentals as applicable.
10. **Trash & Rubbish.** The event plan shall include information regarding the number and placement of waste receptacles adequate for the event capacity, as well as a plan to prevent trash or rubbish from blowing onto or otherwise reaching adjacent properties or the public Right of Way.
11. **Conduct.** The event plan shall include information regarding how the applicant will monitor and address the conduct of patrons, especially as it relates to trespassing on adjacent properties.
12. **Schedule.** The applicant shall provide information as to the maximum number of performances the venue intends to schedule in any given year, as

well as the anticipated days and hours within which the venue will generally operate. The Planning Commission may limit the overall number of days the venue may operate in a given period of time and may limit the number of days and the hours of operation for such use as it deems necessary to protect the health, safety and welfare of the community.

13. **Location.** The zoning lot for which the Special Use approval is sought shall be located on a major or secondary thoroughfare with adequate traffic capacity to avoid congestion and facilitate safe travel to and from the venue.

14. **Other Requirements.**

- a. The use of the outdoor entertainment venue shall not, in the judgement of the village planning commission, be detrimental to adjacent land uses and the immediate neighborhood.
- b. Approval by the building inspector for compliance with the site plan and conditions imposed by the Planning Commission is required prior to occupancy of the facility. Thereafter, the building inspector shall conduct an annual compliance inspection.
- c. No special use permit or other permit shall be issued that is not in compliance with this section. General maintenance and upkeep, such as minor repairs, painting, cleaning and similar activities to existing outdoor entertainment venues shall not require the issuance or re-issuance of a special use permit.
- d. A special use permit issued by the Planning Commission under this section may be revoked, or conditions of approval changed, by the Planning Commission following a public hearing, if recommended for review by the Village Manager or their designee.
- e. A special use permit issued by the Planning Commission under this section shall be reviewed by the Planning Commission every five (5) years.
- f. A special use permit issued by the Planning Commission under this section shall expire immediately upon the abandonment of the use for two consecutive years.